

Merton Council

Planning Applications Committee

Membership

Councillors

Members of the Planning Applications Committee.

(Membership to be agreed at Council Meeting 18 May 2016)

A meeting of the Planning Applications Committee will be held on:

Date: MONDAY 23 May 2016

Time: 7.15 pm

Venue: Council chamber - Merton Civic Centre, London Road, Morden SM4 5DX

This is a public meeting and attendance by the public is encouraged and welcomed. If you wish to speak please see notes after the list of agenda items. For more information about the agenda and the decision making process contact democratic.services@merton.gov.uk or telephone 020 8545 3357

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Planning Applications Committee

23 May 2016

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| 6 | The Cricketers Public House, 340 London Road, Mitcham, CR4 3ND | 47 - 74 |
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That Members note the contents of the report. | |
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| | Officer Recommendation:
That Members note the contents of the report. | |

Declarations of Pecuniary Interests

Members are reminded of the need to have regard to the items published with this agenda and, where necessary to declare at this meeting any Disclosable Pecuniary Interest (as defined in

the The Relevant Authorities (Disclosable Pecuniary Interests) Regulations 2012) in any matter to be considered at the meeting. If a pecuniary interest is declared they should withdraw from the meeting room during the whole of the consideration of that matter and must not participate in any vote on that matter. If members consider they should not participate because of a non pecuniary interest which may give rise to a perception of bias, they should declare this, withdraw and not participate in consideration of the item. For further advice please speak with the Council's Assistant Director of Corporate Governance.

Declarations of Pecuniary Interests – Members of the Design and Review Panel (DRP)

Members of the Planning Applications Committee (PAC), who are also members of the DRP, are advised that they should not participate in an item which has previously been to DRP where they have voted or associated themselves with a conclusion reached or recommendation made. Any member of the PAC who has also sat on DRP in relation to items on this PAC agenda must indicate whether or not they voted in such a matter. If the member has so voted they should withdraw from the meeting.

NOTES

- 1) **Order of items:** Please note that items may well be not considered in the order in which they are shown on the agenda since the items for which there are many observers or speakers are likely to be prioritised and their consideration brought forward.
- 2) **Speakers:** Councillors and members of the public may request to speak at the Committee. Requests should be made by telephone to the Development Control Admin. Section on 020-8545-3445/3448 (or e-mail: planning@merton.gov.uk) no later than 12 Noon on the last (working) day preceding the meeting. For further details see the following procedure note.
- 3) **Procedure at Meetings:** Attached after this page is a brief note of the procedure at Planning Application Committee meetings in relation to
 - a. requests to speak at meetings; and
 - b. the submission of additional written evidence at meetings. Please note that the distribution of documentation (including photographs/drawings etc) by the public during the course of the meeting will not be permitted.
- 4) **Copies of agenda:** The agenda for this meeting can be seen on the Council's web-site (which can be accessed at all Merton Libraries). A printed hard copy of the agenda will also be available for inspection at the meeting.

Procedure at meetings of the Planning Applications Committee

- 1 Public speaking at the Planning Applications Committee
- 2 Submission of additional written evidence at meetings

1 Public speaking at the Planning Applications Committee

- 1.1 The Council permits persons who wish to make representations on planning applications to speak at the Committee and present their views. The number of speakers for each item will be at the discretion of the Committee Chair, but subject to time constraints there will normally be a maximum of 3 objectors (or third party) speakers, each being allowed to speak for a maximum of 3 minutes.
- 1.2 Following the issue of the agenda, even if a person has previously indicated their wish to address the Committee, they should contact either
 - the Planning Officer dealing with the application (or e-mail: planning@merton.gov.uk) or
 - the Development Control Admin. Section on 020-8545-3445/3448 (9am – 5pm); or
 - the Development Control hotline 020-8545-3777 (open 1pm – 4pm only).
- 1.3 Requests to speak must be received by 12 noon on the day before the meeting, and should include the person's name, address, and daytime contact phone number (or e-mail address) and if appropriate, the organisation they represent; and also clearly indicate the application, on which it is wished to make representations.
- 1.4 More speakers may be permitted in the case of exceptional circumstances/major applications, but representatives of political parties will not be permitted to speak. (See also note 1.10 below on Ward Councillors/Other Merton Councillors.)
- 1.5 If a person is aware of other people who wish to speak and make the same points, then that person may wish to appoint a representative to present their collective views or arrange that different speakers raise different issues. Permission to speak is at the absolute discretion of the Chair, who may limit the number of speakers in order to take account the size of the agenda and to progress the business of the Committee.
- 1.6 Applicants (& agents/technical consultants): Applicants or their representatives may be allowed to speak for the same amount of time as the sum of all objectors for each application. (For example, if objectors are allowed to speak for three minutes each, then if there was only one objector, the applicant may be allowed to speak for a maximum of 3 minutes; but if there were 2 objectors, the applicant may be allowed to speak for a maximum of 6 minutes and so on.)
- 1.7 Unless applicants or their representatives notify the Council to the contrary prior to the Committee meeting, it will be assumed that they will be attending the meeting and if there are objectors speaking against their application, will take the opportunity to address the Committee in response to the objections.

- 1.8 When there are no objectors wishing to speak, but the application is recommended for refusal, then the Applicants or their representatives will also be allowed to speak up to a maximum of 3 minutes.
- 1.9 Applicants will not be allowed to speak if their application is recommended for approval and there are no objectors speaking. An exception will be made if an applicant (or their representative) wishes to object to the proposed conditions; and in this case they will be allowed to speak only in relation to the relevant conditions causing concern.
- 1.10 Speaking time for Ward Councillors/Other Merton Councillors: Councillors, who are not on the Committee, may speak for up to a maximum of 3 minutes on an application, subject to the Chair's consent, but may take no part in the subsequent debate or vote. Such Councillors, however, subject to the Chair's consent, may ask questions of fact of officers.
- 1.11 Such Councillors, who are not on the Committee, should submit their request to speak by 12 noon on the day before the meeting (so that their name can be added to the list of speaker requests provided to the Chair). Such requests may be made to the Development Control Section direct (see 1.2 above for contact details) or via the Councillor's Group office.
- 1.12 Points of clarification from applicants/objectors: If needed, the Chair is also able to ask applicants/objectors for points of clarification during the discussion of an application.

2 Submission of additional written evidence at meetings

- 2.1 The distribution of documentation (including photographs/drawings etc) during the course of the Committee meeting will not be permitted.
- 2.2 Additional evidence that objectors/applicants want to provide Committee Members (i.e. Councillors) to support their presentation (when speaking) must be submitted to Merton Council's Development Control Section before 12 Noon on the day before the relevant Committee meeting.
- 2.3 If an applicant or objector wishes to circulate additional information in hard copy form to Committee Members, they are required to provide 16 hard copies to the Planning Officer dealing with the application before 12 Noon on the day before the meeting.
- 2.4 Any queries on the above should be directed to:
 - planning@merton.gov.uk or;
 - the Development Control hotline 020-8545-3777 (open 1pm – 4pm only).
 - Contact details for Committee Members and all other Councillors can be found on the Council's web-site: <http://www.merton.gov.uk>

Agenda Item 3

All minutes are draft until agreed at the next meeting of the committee/panel. To find out the date of the next meeting please check the calendar of events at your local library or online at www.merton.gov.uk/committee.

PLANNING APPLICATIONS COMMITTEE

21 APRIL 2016

(7.15 pm - 8.55 pm)

PRESENT Councillor Linda Kirby (in the Chair), Councillor John Bowcott, Councillor Tobin Byers, Councillor Ross Garrod, Councillor Daniel Holden, Councillor Abigail Jones, Councillor Philip Jones, Councillor Peter Southgate and Councillor Geraldine Stanford

ALSO PRESENT Chris Chowns - Principal Transport Planner
Jonathan Lewis - South Team Leader - Development Control
Neil Milligan - Development Control Manager
Sue Wright - North Team Leader - Development Control
Lisa Jewell - Democratic Services

1 APOLOGIES FOR ABSENCE (Agenda Item 1)

Apologies were received from Councillor David Dean. Councillor Najeeb Latif attended as substitute.

2 DECLARATIONS OF OF PECUNIARY INTEREST (Agenda Item 2)

No declarations of pecuniary interest were received.

3 MINUTES OF THE PREVIOUS MEETING (Agenda Item 3)

The minutes of the meeting on 17 March 2016 were agreed as a true record.

4 TOWN PLANNING APPLICATIONS - COVERING REPORT (Agenda Item 4)

The published Agenda and Supplementary Agenda tabled at the meeting form part of the Minutes

(a)Supplementary Agenda: A list of modifications for agenda items 5, 7, 9 , was published as a supplementary agenda

(b) Verbal representations: The Committee received verbal representations detailed in the minute for each relevant each item

(c) Order of the Agenda– the Chair amended the order of items to the following: 7, 8, 9, 10, 5, 6

RESOLVED: That the following decisions are made:

5 LAND ADJACENT TO NO.1 BRIDGE VILLAS, ASHCOMBE ROAD, WIMBLEDON, SW19 8JR (Agenda Item 5)

Proposal: Erection of two storey block with accommodation in the roofspace comprising four flats (2x 1 bed and 2x 2 bed).

The Committee noted the Officers report and presentation, and modifications to the wording of the report presented in the Supplementary Agenda.

The Transport Planning Officer confirmed that the property had a PTAL (public transport accessibility level) of 6a (excellent) as it was 960m from Wimbledon Station.

Officers explained that whilst the Crossrail 2 Safeguarding team had said that the property was outside of the safeguarding area, this is contrary to the Crossrail 2 website, which shows the property to be in this area. Planning Officers have recorded the fact that they have informed the Crossrail 2 safeguarding team of this discrepancy and it is now up to the safeguarding team to resolve this issue.

RESOLVED

The Committee voted unanimously to GRANT planning Permission subject to a s106 legal agreement and conditions.

6 LAND ADJACENT TO 87 DENISON ROAD, COLLIERS WOOD, SW19 2DJ
(Agenda Item 6)

Proposal: Erection of a new residential building comprising 1 x 2 bed ground floor flat with garden and outbuilding (home office) and 1 x 1 bed flat on first floor and within loft

The Committee noted the Officers report and presentation.

RESOLVED

The Committee voted unanimously to GRANT planning Permission subject to a s106 legal agreement and conditions.

7 7 LAMBOURNE AVENE, WIMBLEDON PARK, SW19 7DW (Agenda Item 7)

Proposal: Demolition of existing house and erection of a pair of two storey 5/6 bed semi-detached houses with accommodation at basement and roof levels

The Planning Applications Committee noted the Officers report and presentation and additional information in the Supplementary Agenda- Modification sheet which included an additional and an amended plan. In addition the Committee noted verbal representations from 3 objectors to the application, and a verbal representation by the applicant.

Objectors raised points including:

- Scale, mass, visual impact of proposal unacceptable
- Proposal is 2 ½ times bigger than existing property
- Fails to relate to the rhythm and density of current streetscene

- GGIs produced by the developer are misleading
- The development would obscure the views of Wimbledon Park
- Basement prolongs construction time
- The Basement Impact Study is very basic and doesn't focus on the impact of development on the slope
- Parking will be lost

The applicant asked members to note that they had worked closely with Planning Officers and several large amendments had been made as part of the process. Officers asked members to note that the proposed development was considered to preserve the characteristics of Lambourne Avenue; with a large gap between the proposed flank wall and the corner, the houses set no further forward than the existing house, and stepping down in height following the topography. Transport Planning Officer added that the developer had accepted the restrictions to visitor parking.

Members asked Officers to clarify the visual impact of the development on the basement of Number 5 Lambourne Avenue. Officers said that as the proposed development sat to the north of No. 7 it would have no overshadowing or loss of sunlight. Members asked about a point raised by the first speaker – that the new development had a volume 2 ½ times bigger than the existing house. Officers replied that yes the proposed development was much bigger but that it sits in a plot that is much bigger than neighbouring plots and this had been taken into account when assessing the scheme. Members asked about the claim by the speaker that the CGI produced by the applicant was misleading. Officers explained that the proposed development did sit above road level but the corner element had the same ridge height as the existing house, that the proposed roof design had a hip roof form and would slope away from the front elevation rather than the existing gable that projects vertically, and this would assist in reducing its presence in the street scene.

Members asked about the impact of the development on the Conservation Area. Officers replied that they considered that the key attributes of this part of the Conservation Area had been preserved in particular the long, wide gap and view of Wimbledon Park, which is a key characteristic of Lambourne Avenue in relation to the Conservation Area.

Members asked about the proposed basement and whether the slope stability had been considered, following comments made by one of the objectors. Officers stated that the Council's structural and Flood engineers were satisfied with the proposed basement subject to conditions.

Comments were made by members regarding the proposed development:

- Councillor Holden said that it was very bulky on a prominent site
- Councillor Bowcott said that that the size was overbearing and he criticised the crossover arrangement
- Councillor Southgate said the design was derivative and the proposal does not make any contribution to the CA

- Councillor Abigail Jones said that the site can support this development and that the gap between houses is smaller elsewhere on the street and that the characteristics of the CA were not affected by the development.

A motion to refuse the application was proposed by Councillor Holden and seconded by Councillor Southgate. The reasons for refusal were given as the scale, mass and bulk of the proposal being overbearing on the street scene and that the proposal did not make a positive contribution to the conservation area. The Committee voted on the motion to refuse, and the motion was carried by 5 votes to 4 with one abstention.

RESOLVED

The Committee agreed to:

1. REFUSE planning permission on grounds relating to the following -
 - (i) The scale, mass and bulk of the proposal would be overbearing on the street scene
 - (ii) Impact on the Conservation Area - the proposal makes no contribution to the conservation area
 2. DELEGATE to the Director of Environment & Regeneration the authority to agree the detailed grounds of refusal, including any appropriate amendments, additions and/or deletions to the proposed grounds/policies.
- 8 16 LEAMINGTON AVENUE, MORDEN, SM4 4DW (Agenda Item 8)

Proposal: Conversion of existing dwelling house into 2 flats including erection of new side porch.

The Committee noted the officers report and presentation, and verbal representations from an objector to the application and a representative of the applicant.

The objector made points as detailed in the officers report and emphasised that there were no other flat conversions in the Cannon Hill area which is an area of family sized house.

Members asked about the unusual design of a living area above a bedroom and whether this arrangement would require an additional condition on soundproofing. Officers stated that this issue was covered by Building Regulations. They also answered that the layout of the accommodation could be changed in future.

Members commented that it was sad to lose a family house and they understood residents concerns about this and parking issues. However they noted that some new developments of flats were due to be built in the area. They commented that this development exceeded the London Space Standards and that lose of a family house was not a reason for refusal.

RESOLVED

The Committee voted unanimously to GRANT Planning Permission subject to a s106 legal agreement and conditions

9 34 LEOPOLD ROAD, WIMBLEDON PARK, SW19 7BD (Agenda Item 9)

Proposal: Conversion of the existing two storey dwelling to provide 1 x 3 bedroom ground floor flat with access to own rear garden and 2 x 1 bedroom flats including the erection of a two storey rear extension, rear dormer roof extensions and two roof lights to front roof slope.

The Committee noted the officers report, modifications contained in the Supplementary Agenda, and presentation, a verbal representation from a representative of local residents objecting to the application and a verbal representative for the applicant.

Officers stated that they had considered previous refusals and were satisfied that this proposal overcame the reasons for these refusals by reducing the number of proposed units, the size of the proposed extensions, providing a family sized unit and making improvements at the rear of the property.

RESOLVED

The Committee voted unanimously to GRANT Planning Permission subject to a s106 legal agreement and conditions

10 1 ST JOHNS ROAD, WIMBLEDON, SW19 4PH (Agenda Item 10)

Proposal: Demolition of existing conservatory and erection of a single storey extension, excavation of basement with light wells, new boundary wall and associated landscaping

The Committee noted the officers report and presentation and the verbal representations of an objector to the application, representing himself and other residents of St John's Road and a verbal representation by the Structural Engineer to the applicant.

The Objector raised residents' concerns, as detailed in the Officers report, associated with the construction of the basement. The Structural Engineer to the applicant stated that he was confident that his investigations had addressed all issues and that he had an on-going role in developing the design and instructing the building contractors.

Members asked officers about the monitoring of ground water levels, and if this work, recommended by the LBM Flood Engineer would be part of the Construction Method Statement (CMS). Officers replied that it was not part of the CMS.

Members asked about the shallow footings of the existing buildings, and Officers replied that the structural assessment carried out by suitably qualified engineers and surveyors working for the Council had found the site to be satisfactory. Members noted that a slightly different design of basement could be built under this property under permitted development rights.

Members commented that they understood residents' concerns about the construction of a basement but they understood that the specialist engineers and surveyors had assessed the development and found it satisfactory. They also commented that the proposed development would have a positive impact on the conservation area.

RESOLVED

The Committee voted unanimously to GRANT Planning Permission subject to conditions

11 PLANNING APPEAL DECISIONS (Agenda Item 11)

The Committee noted the report showing recent decisions made by Planning Inspectors. Members noted that the appeal for application 15/P0499 (14 Burley Close, Streatham) was allowed because the inspector felt that sufficient reasons for refusal had not been given, but that the costs had not yet been set.

Officers said they would continue to monitor the Alpha Place, Garth Road site.

RESOLVED

The Planning Applications Committee noted the contents of the Planning Appeal Decisions Report

12 PLANNING ENFORCEMENT - SUMMARY OF CURRENT CASES (Agenda Item 12)

The Committee noted the contents of the Planning Enforcement – Summary of Current Cases report, and noted that the site visit to the Burnt Bullock had been re-scheduled to 25 April 2016, but the reason for this rescheduling was unknown.

RESOLVED

The Committee noted the contents of the Planning Enforcement – Summary of Current Cases report

Agenda Item 4

Committee: PLANNING APPLICATIONS COMMITTEE

Date: 23rd May 2016

Wards: ALL

Subject: TOWN PLANNING APPLICATIONS – Covering Report

Lead officer: James McGinlay - Head of Sustainable Communities

Lead member: COUNCILLOR LINDA KIRBY, CHAIR OF PLANNING APPLICATIONS COMMITTEE

Contact officer: For each individual application, see the relevant section of the report.

Recommendations:

A. The recommendations for each individual application are detailed in the relevant section of the reports. (NB. The recommendations are also summarised on the index page at the front of this agenda).

1. PURPOSE OF REPORT AND EXECUTIVE SUMMARY.

1.1. These planning application reports detail site and surroundings, planning history, describe the planning proposal, cover relevant planning policies, outline third party representations and then assess the relevant material planning considerations.

2. DETAILS

2.1 This report considers various applications for Planning Permission and may also include applications for Conservation Area Consent, Listed Building Consent and Advertisement Consent and for miscellaneous associated matters submitted to the Council under the Town & Country Planning Acts.

2.2. Members' attention is drawn to Section 38(6) of the Planning and Compulsory Purchase Act 2004 which requires that if regard is to be had to the development plan for the purpose of any determination to be made under the Planning Acts, the determination must be made in accordance with the plan unless material considerations indicate otherwise.

- 2.3 In Merton the Development Plan comprises: The London Plan (March 2015) the Merton LDF Core Planning Strategy (July 2011), the Merton Sites and Policies Plan (June 2014), and The South West London Waste Plan (March 2012). The National Planning Policy Framework (“NPPF”) which came into effect in March 2012 and the National Planning Policy Guidance, published in March 2014 are also of particular relevance in the determination of planning applications.
- 2.4 Members’ attention is also drawn to Section 16 (2) of the Planning (Listed Buildings and Conservation Areas) Act 1990 (1990 Act), regarding applications for Listed Building Consent which places a statutory duty on the Council as local planning authority to have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses”.
- 2.5 With regard to Conservation Areas, Section 72(1) of the 1990 Act provides that “special attention shall be paid to the desirability of preserving or enhancing the character or appearance” of the conservation area when determining applications in those areas.
- 2.6 Each application report details policies contained within the Development Plan. For ease of reference and to introduce some familiarity, the topics covered by the policies are outlined in brackets. In the event that an application is recommended for refusal the reasons will cover policies in the Development Plan.
- 2.7 All letters, petitions etc. making representations on the planning applications which are included in this report will be available, on request, for Members at the meeting.
- 2.8 Members will be aware that certain types of development are classed as "Permitted Development" and do not require planning permission.
- 2.9 The Council’s Scheme of Management provides for officers to determine generally routine, applications, including householder applications, applications for new housing that have not been the subject of local interest at consultation stage and with which there is an associated S106 undertaking, provided that it would not contain any heads of terms or contributions that are not a standard requirement of the Local Plan or (for proposals where a standard requirement has been subject to modification through negotiation or otherwise) depart significantly from the standard requirement of the Local Plan; and applications for advertisement consent.
- 3. SUSTAINABLE DEVELOPMENT AND ENVIRONMENTAL IMPACT ASSESSMENT**
- 3.1 There is a need to comply with Government guidance that the planning process should achieve sustainable development objectives. It is for this reason that each report contains a section on sustainability and environmental impact assessment requirements.

- 3.2 Resolution 42/187 of the United Nations General Assembly defined sustainable development as "development which meets the needs of the present without compromising the ability of future generations to meet their own needs. The NPPF states that "the purpose of the planning system is to contribute to the achievement of sustainable development" and that "there are three dimensions to sustainable development: economic, social and environmental".
- 3.3 The NPPF states that "pursuing sustainable development involves seeking positive improvements in the quality of the built, natural and historic environment, as well as in people's quality of life", and that "at the heart of the National Planning Policy Framework is a **presumption in favour of sustainable development**, which should be seen as a golden thread running through both plan-making and decision-taking".
- 3.4 It is also important that relevant applications comply with requirements in respect of environmental impact assessment as set out in the Town & Country Planning (Environmental Impact) Regulations 2011 (As amended). Each report contains details outlining whether or not an environmental impact assessment was required in the consideration of the application and, where relevant, whether or not a screening opinion was required in the determination of the application. Environmental impact assessments are needed in conjunction with larger applications in accordance with relevant regulations. In some cases, which rarely occur, they are compulsory and in others the Council has a discretion following the issue of a screening opinion. In practice they are not needed for the large majority of planning applications.

4 ALTERNATIVE OPTIONS

- 4.1. None for the purposes of this report, which is of a general nature outlining considerations relevant to the reports for specific land development proposals.

5. CONSULTATION UNDERTAKEN OR PROPOSED

- 5.1 Not required for the purposes of this report.

6 TIMETABLE

- 6.1. As set out in the body of the report.

6 FINANCIAL, RESOURCE AND PROPERTY IMPLICATIONS

- 6.1. None for the purposes of this report unless indicated in the report for a particular application.

7 LEGAL AND STATUTORY IMPLICATIONS

- 7.1. As set out in the body of the report.

8 HUMAN RIGHTS, EQUALITIES AND COMMUNITY COHESION IMPLICATIONS

- 8.1. These applications have been considered in the light of the Human Rights Act ("The Act") and in particular, the First Protocol of Article 1 (Protection of Property); Article 6 (Rights to a Fair Trial) and Article 8 (Private and Family

Life) which came into force on 2 October 2000.

- 8.2. Consideration has been given to the impact of each application on the people living and working in the vicinity of that particular application site and to the impact of the proposals on the persons who have made written representations on the planning merits of the case. A full assessment of material planning considerations has been included in each Committee report.
- 8.3. Third party representations and details of the application proposals are summarised in each Committee report. It may be that the policies and proposals contained within the Development Plan and/or other material planning considerations will outweigh the views of third parties and/or those of the applicant.

9 CRIME AND DISORDER IMPLICATIONS

- 9.1. As set out in the body of the report.

10 RISK MANAGEMENT AND HEALTH AND SAFETY IMPLICATIONS

- 10.1. As set out in the body of the report.

11 APPENDICES – THE FOLLOWING DOCUMENTS ARE TO BE PUBLISHED WITH THIS REPORT AND FORM PART OF THE REPORT

- 11.1 None for the purposes of this report.

12. BACKGROUND PAPERS

- Background papers – Local Government (Access to Information) Act 1985
- Planning application files for the individual applications.
- London Plan (2015)
- Merton LDF Core Planning Strategy (2011)
- Merton Sites and Policies Plan (2014)

- Appropriate Government Circulars and Guidance Notes and in particular the NPPF and NPPG.
- Town Planning Legislation.
- The Mayor of London's Supplementary Planning Guidance.
- Merton's Supplementary Planning Guidance.
- Merton's Standard Planning Conditions and Reasons.
- Town & Country Planning (Environmental Impact Assessment) Regulations 2011 (As amended).

PLANNING APPLICATIONS COMMITTEE
23rd May 2016

Item No:

	<u>APPLICATION NO.</u>	<u>DATE VALID</u>
	15/P2647	10/09/2015
Address/Site	Brown and Root House, 125 High Street, Colliers Wood, SW19 2JG	
(Ward)	Colliers Wood	
Proposal:	Amendments to conditions, attached to planning permission reference 10/P2784 for the demolition of the existing multi-storey car park, conversion of and alterations / extensions to the tower block to provide a mixed use development of 213 dwellings, 3 units (598 sq.m in total) for use within Classes A1 (retail), A2 (Financial and professional services) and A3 (Restaurants/cafes), 523 sq.m for community use (Use within Class D1) 301 sq.m for use as offices (Class B1) or community use (Class D1), creation of public open space together with car and cycle parking provision and landscaping.	

Drawing Nos

Proposed Site Plan
Phasing plan 210805 P008A
LO(03)301 P1 Ground Floor Plan (amended rec'd 03/05/16)
LO(03)302 P1 First Floor Plan (amended rec'd 03/05/16)
LO(03)303 P1 Second Floor Plan (amended rec'd 12/04/16)
LO(03)304 P1 Third Floor Plan (amended rec'd 12/04/16)
LO(03)305 P1 Fourth Floor Plan (amended rec'd 12/04/16)
LO(03)306 P1 Fifth Floor Plan (amended rec'd 12/04/16)
LO(03)307 P1 Sixth Floor Plan
LO(03)308 P1 Seventh Floor Plan
LO(03)309 P1 Eighth Floor Plan
LO(03)310 P1 Ninth Floor Plan
LO(03)311 C3 Tenth Floor Plan
LO(03)312 Eleventh Floor Plan
LO(03)313 Twelfth Floor Plan
LO(03)314 Thirteenth Floor Plan
LO(03)315 Fourteenth Floor Plan
LO(03)316 Fifteenth Floor Plan
LO(03)317 Sixteenth Floor Plan
LO(03)318 Seventeenth and Eighteenth Floor Plan
LO(05)101 North Elevation
LO(05)100 South Elevation
LO(05)102 East Elevation

LO(05)103 West Elevation
Accommodation Schedule Phase 1
Accommodation Schedule Phase 2
PL(02)100 Site Plan.

WH148/13/LO(05)001 – Proposed elevation with Phase 2 not implemented.

Contact Officer: Jonathan Lewis (020 8545 3287).

RECOMMENDATION

Grant planning permission subject to any direction from the Mayor of London the completion of a signed Section 106 Unilateral Undertaking/Legal Agreement and conditions.

CHECKLIST INFORMATION.

- Heads of agreement – Permit free housing and provision of a review mechanism to deliver affordable housing contributions.
- Is a screening opinion required: Yes.
- Is an Environmental Impact Statement required: No.
- Press notice: Yes.
- Site notice: Yes.
- Design review panel consulted: No.
- Number of neighbours consulted: 192
- External consultations: English Heritage, GLA, TfL
- Archaeology: In a Priority zone.
- Flooding: In flood zone 3.

1. INTRODUCTION.

- 1.1 Planning permission has been granted for a major mixed use development of the above site. Condition 2 attached to planning permission reference 10/P2784 requires the scheme be implemented in accordance with a schedule of plans. The applicant seeks to vary the condition under the terms of a Section 73 application in order to implement the development the design of which is different from that of the approved plans.
- 1.2 Development of Phase 1 is already progressing on the basis of the plans to be considered under this application and is well under way.
- 1.3 Accompanying the application are revised drawings which would result in a modest reduction in the number and mix of dwellings, some changes to the floorspace of non-residential uses, and a change to the configuration of the flats within the development.
- 1.4 The proposed amendments have been submitted against a backdrop of on-going discussions between Council officers and the applicant about a fresh

application for what is known as the Phase 2 land and which could supersede proposals for this part of the development.

2. SITE AND SURROUNDINGS.

- 2.1 The site and its surroundings are described in the 2004 and 2006 reports to Committee extracts from which are appended to this report.
- 2.2 Since the 2010 application was considered by Committee development on site has commenced including the erection of an extension to the north side of the Tower and cladding of the building and continues to progress. The surrounding area is also experiencing change with environmental improvements to the highway network having taken place including along Christchurch Road, High Street Colliers Wood and Baltic Close. Completion of the Colliers Wood public realm improvements rely on the provision of the tower piazza.
- 2.3 The area within which the Tower is located is identified in the London Plan (2015) as an opportunity area for intensification.

3. CURRENT PROPOSAL

- 3.1 Planning permission was granted in April 2008 for a major mixed use development comprising the refurbishment conversion and extension to Brown and Root Tower. Details of the consented scheme are appended to this report, the scheme being amended between 2004 when a report was first considered by Committee and 2006 when amended proposals deleted a small parcel of land in the south east corner of the site. Planning permission was granted in 2011 for variations to the conditions attached to the 2008 permission such that it introduced a phasing condition into the permission; Phase 1 essentially being the extension and conversion of the Tower and Phase 2 being the erection of extensions to the rear of the Tower. The amendments to the permission were concurrent with amendments to the terms of a previously brokered S106 agreement and deleted various financial contributions towards the delivery of a new library, towards education open space and employment and the provision of affordable housing.
- 3.2 The applicant seeks to vary the conditions further under the terms of a Section 73 application in order to enable changes to the design of the development which would still be undertaken in two phases.
- 3.3 The submitted drawings differ from those considered at the time of the consented scheme in 2011. Changes are proposed to the quantum and arrangement of accommodation and to the massing of the proposals.
- 3.4 The changes to the design include a simplification of the shape and form of the projecting extension on the north side of the Tower. The approved scheme had a north facing elevation with a sloping face with a footprint smaller on the ground floor than on the upper floors. The revised design has a simple vertical face to the northern elevation. The change alters the footprint

of the ground floor and results in an increase in floorspace for the commercial units (floorspace changes in table below). The northern extension to the tower has been built in advance of a decision being issued.

- 3.5 A more flexible arrangement of accommodation is proposed for the commercial units and rather than designating two retail units and 1 restaurant/café unit each is now identified as being for use within Class A1 (retail) A2 (financial and professional services) or A3 (Restaurant/café).
- 3.6 Adjustments have also been made to the community and office space in Phase 2 resolving a degree of conflict between floorspace figures and plans from an earlier iteration of the scheme. The changes also reflect a change in circumstances locally. The approved scheme had identified the D1 primarily for a new library and this is now being constructed at the nearby former Cavendish House site. The D1 floorspace is now identified for community uses providing greater flexibility with the remaining B1 office floorspace being identified for either office or community use (floorspace changes in table below)

	Consented scheme: 10/P2784	Amended scheme: 15/P2647
B1 (office)	923 sq.m	0 sq.m
D1 (Library/ community floorspace)	629 sq.m library	523 sq.m
B1 or D1 floorspace	0 sq.m	301 sq.m
A1 (retail)	370 sq.m	598 sq.m for use within Class A1, A2 or A3.
A2 (offices)	0 sq.m	
A3 (restaurant/café)	102 sq.m	

- 3.7 The latest changes propose more flats in the remodelled Phase 1 and fewer in Phase 2 with a slight reduction overall in the numbers (215 instead of 218 flats). The potential for Phase 1 to deliver more units is linked to re-designing the interior of the tower removing a redundant stairwell freeing up more space for active use.
- 3.8 Alterations to the configuration of the flats within the development are set out below:

Schedule of Accommodation:

Existing Permitted Scheme (10/P2784)	Studios	One Bedroom	Two Bedroom	Three Bedroom	Four Bedroom	Total
Tower and Extension to the North	12	56	82	0	0	150
Extension to the South	0	10	46	12	0	68
Total	12	66	128	12	0	218

Current Application (15/P2647)	Studios	One Bedroom	Two Bedroom	Three Bedroom	Four Bedroom	Total
Tower and Extension to the North	0	80	97	0	0	177
Extension to the South	0	0	0	30	6	36
Total	0	80	97	30	6	213

3.9 Amenity space for the development would be provided in the form of an enclosed open space with a footprint of 216 sq.m running up from the second floor to the fifth floor in the link between the rear of the Tower and the Phase 2 block in an area that previously had been shown as flats and 718 sq.m in an atrium in what also had previously been flats in the eighth and ninth floors in Phase 2. Individual flats in Phase 1 would not have balconies and this does not differ from the consented scheme while flats in phase 2 are designed to have individual balconies.

3.10 The applicant has also provided elevations showing the rear of the Tower in the event that Phase 2 does not proceed in its present form and is superseded by new proposals.

3.11 The applicant has also submitted with the application a copy of the 2003 Planning statement, the 2004 Flood Risk assessment and also an up to date viability study.

4. PLANNING HISTORY

- 4.1 March 2004 (03/P0202) the Planning Applications and Licensing Committee resolved to grant planning permission subject to the completion of a Section 106 obligation for the demolition of the existing multi-storey car park, conversion of and alterations / extensions to the tower block; erection of a new building (combined) to provide 226 residential units, 2 retail (A1) units (370 square metres), a new public library facility (629 square metres), Class B1 business/office adaptable space (876 square metres), a café / bar (A3) (102 square metres), creation of public open space together with car and cycle parking provision and landscaping (see Appendix 1).
- 4.2 December 2005. Planning Applications Committee resolved to grant planning permission for the same development as above subject to an amended set of heads of agreement for a Section 106 obligation and amended conditions.
- 4.3 August 2006. Following issues arising from part of the site being owned by a third party, the design of the scheme was amended, removing the part of the proposed extension in the south east corner of the site. The amended development comprised the following: Demolition of existing multi-storey car park, conversion of and alterations / extensions to the tower block; erection of a new building (combined) to provide 218, 2 retail (A1) units (370 square metres), a new public library facility (629 square metres), Class B1 business/office adaptable space 923 sq.m, a café / bar (A3/A4) (102 square metres), creation of public open space together with car and cycle parking provision and landscaping

Planning Applications Committee resolved to grant planning permission for the scheme as amended subject to the completion of a S106 agreement (subject to the amended heads of agreement and conditions).

Planning Permission was granted following completion of S106 in April 2008.

- 4.4 August 2006. (06/P1641) Application for redevelopment of site submitted by London Green Properties for the refurbishment and extension of the existing tower to include 315 residential units (146 X 1, 151 X 2 and 18 X 3 bedrooms), new library building (794 q.m), B1 office space (537 sq.m), retail units (250 sq.m), D1 Health Centre (750 sq.m) and a new public square with associated landscaping and highway works. Application withdrawn.
- 4.5 December 2008 (08/P2787) Installation of an internally illuminated advertising hoarding. Advert consent refused and following grounds:
The proposal, by reason of its size, orientation, illumination and location would result in an unduly prominent and intrusive advertising display, detrimental to the visual amenities of the area, inappropriate to the location in which it is sited, and which would detracts from the general conditions of highway and pedestrian safety, contrary to policies BE.28 and BE.29 of the Adopted Unitary Development Plan (2003).

- 4.6 September 2009 (09/P0652) Renewal of temporary permission for car wash facilities. Withdrawn.
- 4.7 February 2011 11/P0047
Emergency notice of installation of a 15m high temporary mobile phone mast fixed to a movable base on land to the rear of the tower and in place for a period of up to 6 months.
- 4.8 February 2012 10/P2784. Amendments to conditions attached to 2008 planning permission including introduction of a phasing condition and amendments to S106 agreement.
- 4.9 Submission of details to discharge various conditions attached to permission reference 10/P2784:
12/P2033 - Condition 15 - Archaeological works – approved. This submission also included details in relation to Phase 1 in respect of the following conditions: 24 (Car club scheme) approved, 18 (Working method statement) approved, 17 (Remediation) approved, 12 (café/bar kitchen ventilation) generic details at this stage and requires further submission, 11 (Sound insulation/attenuation measures) approved 10 (Parking and electric charging) approved, 9 (Cycle parking) approved, 6 (Storage and recycling of refuse) approved.
12/P3118 – Condition 16 – Foundation design for relevant phase - approved. Condition 13 - Landscaping (outstanding and now to be linked with the design details of the Colliers Wood public realm project). Condition 5 - surface treatment for relevant phase (outstanding and as Condition 13).
12/P3257 – Condition 20 temporary boundary treatment for relevant phase – approved.
13/P3306 – Condition 8 - general arrangement and 23 - parking plan approved.
13/P0514 – Condition 4 - external materials (Phase 1) – approved.
- 4.10 2013 - 13/P0467 - Application for non-material amendment to conditions 5, 8, 13 16 and 21 approved. The non-material amendment has the effect of changing pre-commencement conditions to pre-occupation conditions in relation to approval and implementation of surface treatment, vehicle access, hard and soft landscaping, foundations and groundworks for the relevant phase, and for entering into a S278 agreement for a scheme of works to the highway including alterations to site access, resurfacing of Christchurch Road between Priory Road and High Street Colliers Wood and other alterations to the highway to provide for an elongated bus layby and taxi rank on Christchurch Road within the overarching public realm design established by the Council and TfL's public realm project.

Officers advise that since endorsing this amendment TfL have assumed responsibility for all roads surrounding the development, and that any S278 agreement would now need to be between the applicant and TfL.

5. CONSULTATION

- 5.1 Site and press notices and 192 neighbours. No replies.
- 5.2 Cllr Nick Draper. Objections are raised regarding the absence of affordable housing and that all the development would be private.
- 5.3 GLA Planning Decision Unit. The proposed changes do not raise any strategic planning issues. The application relates to a permission that pre-dates the current London Plan and as such the development will not comply with various aspects such as space standards. However, it would be unreasonable to revisit these matters now particularly as the Phase 1 works are on site and the envelope of the building is fixed.
- 5.4 Transport for London. No objections. Given the nature of the proposed changes TfL is satisfied that they are unlikely to have an impact on the TLRN.
- 5.5 English Heritage (Archaeology). No comments.
- 5.6 Environment Agency. No objection.

6. POLICY CONTEXT

- 6.1 The relevant policies in the London Plan (2015) are:
 - 2.3 Growth Areas and coordination corridors;
 - 2.6 Outer London: vision and strategy;
 - 2.7 Outer London Economy; 2.8 Outer London Transport;
 - 2.13 Opportunity and intensification areas;
 - 3.3 Increasing housing supply;
 - 3.4 Optimising housing potential;
 - 3.5 Quality and design of housing developments;
 - 3.6 Children and young peoples play;
 - 3.7 Large residential developments;
 - 3.8 Housing choice;
 - 3.9 Mixed and balanced communities;
 - 3.10 Definition of affordable housing;
 - 3.11 Affordable housing targets:
 - 3.12 Negotiation affordable housing on individual private residential and mixed use schemes;
 - 3.13 Affordable housing thresholds;
 - 3.16 Protection and enhancement of social infrastructure;
 - 3.18 Education;
 - 4.2 Offices;
 - 5.2 Minimising carbon dioxide emissions;
 - 5.3 Sustainable design and construction;
 - 5.7 Renewable energy;
 - 5.13 Sustainable drainage;
 - 5.15 Water use and supplies;
 - 6.2 Providing public transport capacity and safeguarding land for transport;
 - 6.3 Assessing effects of development on transport capacity;
 - 6.9 Cycling;

- 6.10 Walking; 6.13 Parking;
 - 7.2 An inclusive environment;
 - 7.4 Local character;
 - 7.5 Public realm;
 - 7.6 Architecture;
 - 7.7 Location and design of tall and large buildings;
 - 7.14 Improving air quality.
- 6.2 The relevant policies in the Merton LDF Core Planning Strategy (2011) are:
- CS.1 Colliers Wood;
 - CS.7 Centres;
 - CS.8 Housing choice;
 - CS.9 Housing provision;
 - CS.11 Infrastructure;
 - CS.12 Economic development;
 - CS.14 Design;
 - CS.15 Climate change;
 - CS.16 Flood risk management;
 - CS.18 Active transport;
 - CS.19 Public transport;
 - CS.20 Parking servicing and delivery;
- 6.3 The relevant policies in the Merton Site and Policies Plan (2014) are:
- DM H2 Housing mix
 - DM H3 Support for affordable housing
 - DM C1 Community facilities
 - DM E2 Offices in town centres
 - DM E4 Local employment opportunities
 - DM D1 Urban design and the public realm
 - DM D2 Design considerations in all developments
 - DM D3 Alterations and extensions to existing buildings
 - DM F1 Support for flood risk management
 - DM F2 Sustainable urban drainage systems (SuDS) and; Wastewater and Water Infrastructure
 - DM T2 Transport impacts of development
 - DM T3 Car parking and servicing standards
 - DM T4 Transport infrastructure
 - DM T5 Access to the Road Network
- 6.4 Associated Council/GLA initiatives - Connecting Colliers Wood:
 The Colliers Wood area secured £1.6m from the Mayor's Regeneration Fund in 2012, matched by £820,000 from Merton, to improve local roads and public spaces, connecting the area to the river Wandle and Wandle Park.

Since 2013 Merton Council has been working in partnership with TfL and the Mayor of London on a project called Connecting Colliers Wood, focusing on streetscape and highways improvements.

Transport for London have undertaken major streetscape improvement works outside the tube station and at the junction with Priory Road. The works form

part of a wider project to create a new town square to complement the redevelopment of Brown and Root tower into residential units. Work continues in the area with reviews having taken place to extend local CPZ's and to enhance the environment of Baltic Close. Criterion Capital have also paid the S106 planning obligation under the provisions of the 2010 scheme to the Council which is part-funding the public realm upgrades currently underway through the Connecting Colliers Wood project. The final phase of the Connecting Colliers Wood project will be the completion of the tower piazza, by Criterion, in accordance with the detailed public realm designs now established by LBM and TfL.

7. PLANNING CONSIDERATIONS

7.1 The redevelopment of Brown and Root Tower continues to be a catalyst to the regeneration of Colliers Wood with work to extend and re-clad the building (Phase 1) now well advanced.

7.2 The proposals the subject of this report and comprising changes to the consented scheme are the subject of an application for a material minor amendment under Section 73 of the Planning Act.

Amending conditions.

7.3 Section 73 of the Town and Country Planning Act enables applications to be made to remove or vary conditions on a planning permission.

7.4 Government guidance on Section 73 applications states: "the development which the application under S.73 seeks to amend will by definition have been judged to be acceptable in principle at an earlier date". The Local Planning authority can consider national or local policies or other material considerations which may have changed significantly since the original grant of permission, as well as the changes sought.

7.5 Planning permission may be granted subject to conditions differing from those subject to which the previous permission was granted. Planning permission must not be granted to extend the time within which development must be started.

Changes to quantum and type of accommodation.

7.6 The changes relate to both the residential and non-residential elements of the scheme.

7.7 A slight reduction from 218 to 213 flats overall is not considered to have an impact on the scheme that would still make a substantial contribution to the delivery of housing in the Borough.

7.8 Since consideration of the 2010 scheme the Council has adopted its Sites and Policies Plan. Policy DM.H2 seeks the following mix of dwellings from new developments to provide housing choice: One bedroom 33%, Two bedroom 32% Three + bedrooms 35%. This mix is informed by a number of factors, including Merton's Strategic Housing Market Assessment (SHMA 2010),

deliverability, viability, affordability, land availability and data concerning waiting lists.

- 7.9 Assessment of historical provision in the borough indicates a disproportionately greater delivery of smaller homes compared to larger homes: 84% of dwellings completed in the borough between April 2000 and March 2011 consisted of 1 or 2 bedroom units.
- 7.10 The latest proposals provide 80 (37.5%) one and 97 (42%) two bedroom flats in phase 1 and 30 (14%) 3 bedroom units and 6 (2.8%) 4 bedroom units in Phase 2. Were Phase 2 to proceed then the current mix while not fulfilling the Council's preferred mix would provide a greater proportion of 3 and 4 bedroom units than the consented scheme where only 5.5% of the units were 3 bedroom the remainder being studio, 1 and 2 bedroom units.
- 7.11 The proposed increase to the amount of non-residential floorspace in phase 1 or the widening of uses to which the units could be used does not raise any issues that might conflict with adopted planning policies. The changes provide a pragmatic level of flexibility to help with marketing the units, the uses of which would be appropriate within the centre.
- 7.12 A change from designation of floorspace space in Phase 2 from a library to a more generic "community" use, both uses being within Class D1, is again considered to be a pragmatic response to the evolving situation in Colliers Wood where a recently consented scheme, which includes provision of a new library at nearby Cavendish House, is now well underway. Research into the development of the policies in the Council's Local Development Framework highlighted a surplus of underused office floorspace across parts of the borough and signalled both scope to allow for a contraction of such floorspace while directing new and major office provision towards Wimbledon. The reduced level of office floorspace in Phase 2 would not conflict with adopted planning policies.

Maximising residential outputs, standard of accommodation and residential amenity.

- 7.13 The London Plan (2012 and 2015 (As amended)) and the Housing SPG (2012 and 2016) both post-date the 2010 consented scheme. Their significance is in that they set minimum overall space standards and amenity space standards for flats (London Plan policy 3.5 states that housing developments should be of the highest quality internally and externally. The Mayor regards the relative size of all new homes in London to be a key element of this strategic issue and has therefore adopted the Nationally Described Space standard in the most recent amendments to the London Plan.
- 7.14 While not subject to these standards the consented scheme would have delivered flats as follows:
Phase 1 – 52 flats (34.7%) over London Plan standards and 98 flats (65.3%) under.
Phase 2 - 64 flats (94) over London Plan standards and 4 flats (6%) under.

- 7.15 Based on the applicant's schedule of accommodation and floorspace/bedspace data the amended scheme would deliver flats as follows:
Phase 1 – 17 flats (8.6%) over London Plan standards and 160 flats (90.4%) under.
Phase 2 – 30 flats (83.3%) over London Plan standards and 6 (16.7%) under.
- 7.16 The proposed changes would deliver a greater percentage of flats below London Plan standards than the consented scheme.
- 7.17 The amended plans include large areas within the building envelope annotated as amenity space that previously were previously to be flats. Were the development to be completed in accordance with these amendments then the proposals would deliver an improvement to the amenity space available for the flats compared to the consented scheme. Were Phase 2 not to proceed then the plans would appear to deliver an enclosed amenity area towards the rear (south) elevation of the Tower.
- 7.18 London Plan policy 2.13 indicates that development proposals within opportunity areas (Colliers Wood/South Wimbledon is identified as such an area) should, amongst other matters, seek to optimise residential and non-residential output and densities, where appropriate contain a mix of uses contribute towards meeting or where appropriate exceeding minimum guidelines for housing and support wider regeneration.
- 7.19 The proposals have kept broadly within the scope of the consented scheme by creating open spaces within the building envelope along with large units in Phase 2 to balance out the provision of a greater number of smaller flats in other parts of the development. It is a matter of judgement as to whether an amended design that creates such open spaces within the building envelope fulfils successfully the objective of maximising residential output if it impacts negatively on the standard of accommodation of flats in Phase 1.
- 7.20 The introduction of a Prior Approval regime of light touch applications for the change of use of offices to residential accommodation post-dates the decision on the 2010 scheme. The effect has in, numerous cases across the borough, removed local authorities' potential to negotiate schemes that meet London Plan standards or affordable housing being focused on simply assessing impacts on traffic, flood risk and contamination. The applicant has not exercised the scope to make such a submission which they could have done had they simply converted the Tower. Members may wish to factor this in when weighing up the latest applications benefits and shortcomings.
- Affordable housing.
- 7.21 At the time of considering the 2003 application issues of viability lead to the scheme being approved with a proportion of affordable housing less than the then current Merton planning policy target of 30% on site. Having regard to then current planning advice (Circular 06/98) which advocated flexibility where viability was an issue, it was agreed that the consented scheme would deliver around 22% of the units as affordable. The agreement required 50 affordable

housing units (30 registered provider rented units comprising 20 two bedroom flats and 10 registered provider one bedroom flats, 10 shared equity units and 10 low cost home ownership flats comprising one bedroom flats).

- 7.22 A review of viability and subsequent renegotiation of the S106 at the time of the 2010 application resulted in the Planning Applications Committee endorsing changes which removed all affordable housing from the scheme.
- 7.23 The latest changes change the outputs from each phase of the development in terms of the numbers of flats provided. Combined with more stable economic conditions than were the case following conclusion of the original S106 in 2008, officers consider that this warranted a review of the financial viability of the scheme.
- 7.24 London Plan policy 3.12 requires that in making planning decisions a maximum reasonable amount of affordable housing should be sought when negotiating on individual private residential and mixed-use schemes. Decision makers are required to have regard to factors including current and future requirements for affordable housing at local and regional levels; and affordable housing targets adopted in line with policy.
- 7.25 The London Plan requires that negotiation on sites should take account of their individual circumstances including development viability, the availability of public subsidy, the implications of phased development including provisions for reappraising the viability of schemes prior to implementation and other scheme requirements.
- 7.26 The LDF notes that where a developer contests that it would not be appropriate to provide affordable housing on site or wishes to deviate from the affordable housing requirements set out in the policy, the onus would lie with the developer to demonstrate the maximum amount of affordable housing that could be achieved on the site viably.
- 7.27 Discussions surrounding the viability of the site have led to an independent financial assessment being undertaken. The review indicated that a contribution towards affordable housing would leave the scheme viable. The applicant challenged the methodology, which was based on sale of the units, indicating the scheme was to be for private rent and not sale. Officers are therefore continuing their discussion with the applicant with the objective of agreeing a methodology for capturing an off-site contribution towards affordable housing on the basis of the implementation of a 2 phase private rented scheme.
- 7.28 Officers consider that agreement on a suitable methodology would, even were Phase 2 not to proceed in its present form, assist the Council in its negotiations regarding the delivery of affordable housing in the event that a new scheme comes forward for consideration.

Traffic and transport.

- 7.29 Despite the changes to the delivery of units in each phase the proposals would not generate new issues that warrant a more comprehensive review of traffic and highways matters and TfL have raised no objections to the changes to the proposals.
- 7.30 S106 heads relating to the scheme's residential units being "permit free" and dedication of land to transport improvements on Christchurch Road would require consolidation in any amendment/deed of variation to the existing S106 agreement. Parking management, including car club spaces, and travel plans may be dealt with as conditions and no objections are raised by Transport Planning officers in this respect.

8. SUSTAINABILITY/EIA.

- 8.1 A screening opinion under the provision of the Town and Country Planning (Environmental Impact Assessment) Regulations has been issued confirming that an Environmental Assessment is not required for the proposals.
- 8.2 When considering the 2010 application the Council did not seek to impose new conditions requiring compliance with a particular code level for new homes. The Code for Sustainable Homes was withdrawn in 2015 and officers do not propose that this matter is revisited in terms of sustainable design and construction and provide the following observations.
- 8.3 Since 2003, when the consented scheme was submitted, there have been significant changes to the requirements of the Building Regulations. The latest changes to Part L (Conservation of Fuel and Power) relevant to the works underway were adopted in 2013 while a further upgrade to requirements was adopted earlier this year. In order to comply with the Building Regulations refurbishment, alterations and extensions to the Tower would achieve substantial reductions in CO2 emissions and achieve a standard of sustainable design and construction over and above that which would have been achieved had the scheme been implemented when Committee first resolved to grant planning permission.

9. CONCLUSION

- 9.1 Redevelopment of the Brown and Root Tower continues to play a key role as a catalyst in the wider regeneration of Colliers Wood.
- 9.2 Re-development of the Tower will deliver new housing, for which there is a recognized need and the regeneration of a building that had become an eyesore in the Borough and had gained wider notoriety across London.
- 9.3 In terms of the key amendments to the consented scheme, the slight reduction in the numbers of dwellings, the changes to the quantum of non-residential floorspace and the greater degree of flexibility to which that floorspace could be put are neither issues that detract from the substantial benefits of providing new housing or would result in an inappropriate mix of non-residential uses in the evolving town centre.

- 9.4 The changes to the external design of Phase 1 are essentially within the envelope of the consented scheme and are considered acceptable.
- 9.5 Alongside the benefits in terms of delivering new housing must be weighed the matters of the standard of accommodation. Some units exceed London Plan standards while a greater proportion of units than the consented scheme fail to meet those standards. Whether the combination of the changes to the configuration of the flats within the building envelope and the creation of amenity spaces where previously flats had been proposed fulfils planning policies to maximise residential outputs while at the same time providing a high standard of residential accommodation is a matter of judgement.
- 9.6 The latest application has provided an opportunity to revisit the issue of affordable housing and the potential for the scheme to make a financial contribution.
- 9.7 The changes raise no new issues in terms of traffic, parking and servicing.
- 9.7 On the matter of sustainable design and construction since consideration of the earlier applications changes to the Building Regulations continue to ensure a higher standard of performance for new building. The Government's change in focus in the last year has resulted in the Code for Sustainable Homes being abolished and the Building Regulations being the main driver in terms of setting performance standards for new buildings and dwellings.
- 9.8 In the event that Committee consider the proposed changes to be acceptable then permission may be granted in accordance with the recommendation below.

RECOMMENDATION.

Subject to any direction from the Mayor, planning permission including the variation of the relevant condition/conditions may be granted subject to the completion of a Section 106 Legal Agreement providing for:

1. The financial viability of the phased development to be appropriately reviewed to secure off site financial contributions towards affordable housing.
2. Dedication of land on Christchurch Road and Priory Road frontages to facilitate transport improvements.
3. All dwellings to be excluded from obtaining parking permits.
4. The developer meeting the Council's legal costs for drafting/scrutinising the agreement/undertaking and monitoring the obligations.

And conditions based on the following schedule allowing for adjustments and deletions to be made to account for earlier non-material amendments, those that have been discharged and those that have been partially discharged and any other conditions discharged before this permission is issued:

1. A.7 In accordance with approved plans (Drawing schedule to be inserted).
2. The development hereby approved shall be implemented in Phases as shown on the approved plans referred to in Condition 2.
Reason: To provide flexibility in the implementation of the development in the interest of the regeneration of Colliers Wood and the objectives of the Council's adopted Local Development Framework (2011).
3. B.1 Materials to be approved. Amended to read "for each phase including street level frontages to any non-residential parts of the proposals" and "interim arrangements for those parts of Phase 1 prior to implementation of Phase 2".
4. For each phase of the development the surfacing of those parts of that phase not covered by buildings or soft or hard landscaping, including any parking, service areas or roads and footpaths shall be carried out before the relevant phase of the development is first brought into use in accordance with details to be submitted to and approved in writing by the local planning authority before such works commence.
5. C.6 Refuse and recycling. Amended to read "for each phase".
6. D.11 Hours of construction.
7. Prior to the commencement of each phase of development, details of the proposed vehicle access to serve that phase of the development shall be submitted to and approved in writing by the Local Planning Authority and the works as approved shall be completed prior to first occupation of the relevant phase of the development. Details of the proposed vehicle access to serve that phase of the development shall be submitted to and approved in writing by the LPA within 6 months of commencement of the development of that phase and the works as approved shall be completed prior to first occupation of the relevant phase of the development.
8. Prior to the commencement of use/occupation of buildings in each phase, details of cycle/mobility parking facilities for that phase shall be submitted to and approved in writing by the local planning authority. The facilities as are approved shall be provided before first occupation of that phase and retained for the users of the development thereafter.
Reason: To ensure satisfactory facilities for cycle and mobility parking are provided and to comply with policy CS18 of the Adopted Merton Core Planning Strategy 2011.
9. Notwithstanding the parking arrangements shown on the approved plans, prior to the commencement of use/occupation of buildings in each phase, details of parking facilities for that phase, shall be submitted to and approved in writing by the local planning authority. The facilities as are approved shall

be provided before first occupation of that phase and retained for the users of the development thereafter.

Reason: To ensure satisfactory facilities for parking are provided and to comply with policy CS18 of the Adopted Merton Core Planning Strategy 2011.

10.D.5 Soundproofing plant and machinery. Amended to read “for each phase”.

11.D.6 Ventilation systems. Amended to read “for each phase”.

12.F.1 Landscaping scheme. Amended to read “for each phase with details to match those of the Connecting Colliers Wood public realm designs” and “before occupation” (linked to the amendments endorsed in the non-materials amendment submission 13/P0467).

13. The use of the buildings in each phase hereby approved shall not take place until such time as details of facilities for persons with disabilities has been submitted to and approved in writing by the Local Planning Authority. Such facilities shall be installed prior to the occupation of the building/commencement of the use of each phase and shall be permanently retained thereafter unless otherwise agreed in writing by the Local Planning Authority.

Reason. To ensure satisfactory access to and use of the development the development by people with disabilities.

14.K.1 Archaeology. Amended to read “for each phase”.

15. No work on site for the for the relevant phase of the development shall begin until a detailed design and method statement for the foundation design and all new ground works for that phase has been submitted to and approved in writing by the LPA. The relevant phase of the development hereby approved shall only take place in accordance with the detailed scheme approved pursuant to this condition.

16. Prior to the commencement of the relevant phase development as scheme to deal with any contamination of the site shall be submitted to and approved in writing by the Local Planning Authority. The above scheme shall include an investigation and assessment to identify the extent and nature of any contamination and measures to be taken to avoid risk to the public/buildings/the environment when the site is developed. Development shall not take place until the measures approved in the scheme have been implemented.

17. H.10 Construction and environmental impacts. Amended to read “for each phase”.

18. Notwithstanding the provisions of the Town & Country Planning (General Permitted Development)(England) Order 2015 (or any other Order revoking or re-enacting the Order), permitting change to residential use via a prior approval submission, no change of use of the approved A1/A2/A3 floorspace is permitted without first securing planning permission from the LPA. Reason:

To ensure that the use of the ground floor of Phase 1 contributes to the vitality and attractiveness of Colliers Wood as a town centre.

19. Boundary treatment to the site including the erection of any security hoardings during construction of each phase of the development and any temporary arrangements prior to implementation of Phase 2, shall be submitted to and approved by the local planning authority. The scheme shall be implemented prior to commencement of development and permanently retained during construction. Reason: In the interests of pedestrian and road safety.

20. Prior to occupation of the relevant phase of the development of development the applicant shall enter into and complete an agreement under S278 of the Highways Act with the Local Highway Authority, to provide for a scheme of works to the highway, including any alterations to site access, resurfacing of Christchurch Road between Priory Road and High Street Colliers Wood and other alterations to the highway to provide for an elongated bus lay-by, tramline and taxi rank on Christchurch Road. Such works as form part of the agreement shall be completed before occupation of more than 50% of all dwellings in Phase 1 of the development.

Reason. To ensure that the proposals provide satisfactory servicing arrangements and to ensure that highways improvement commensurate with the scale of the development are provided and consistent with the objectives of LDF Core Planning Strategy policies CS.11 and CS.20.

21. H.8 Travel plans. Amended to read “for each phase”.

22. H.11. Amended to include “having regard to the phased nature of the development”.

23. Car Club (non-standard). Prior to the first occupation of the development, a car club scheme, including the specification for operation of the car club and off street car parking arrangements, shall be submitted to and approved in writing by the council. The car club scheme shall be implemented prior to the first occupation of the development.

Reason: To facilitate more sustainable patterns of travel in accordance with adopted LDF Core Planning Strategy policies CS.20

Appendix 1.

PLANNING APPLICATIONS AND LICENSING COMMITTEE
11 March 2004

<u>UPRN</u>	<u>APPLICATION NO.</u>	<u>DATE VALID</u>
57/22	03/P0202	07/02/2003
Address/Site	Brown and Root House, 125 High Street Colliers Wood, SW19	
(Ward)	Colliers Wood	
Proposal:	Demolition of existing multi-storey car park, conversion of and alterations / extensions to the tower block; erection of a new building (combined) to provide 226 residential units, 2 retail (A1) units (370 square metres), a new public library facility (629 square metres), Class B1 business/office adaptable space (876 square metres), a café / bar (A3) (102 square metres), creation of public open space together with car and cycle parking provision and landscaping.	
Drawing Nos	JS 0541/SITE 01D, PL 01D, PL 02D, PL 03D, PL 04D, PL 05D, PL 06D, PL 08D, EL 01D, EL 02D, EL 03D, EL 04D, SECT 01D & SECT 02D	
Contact Officer:	Olawale Duyile (020 8545 3113)	

RECOMMENDATION

Permission **GRANTED** subject to the completion of a Section 106 Agreement and conditions

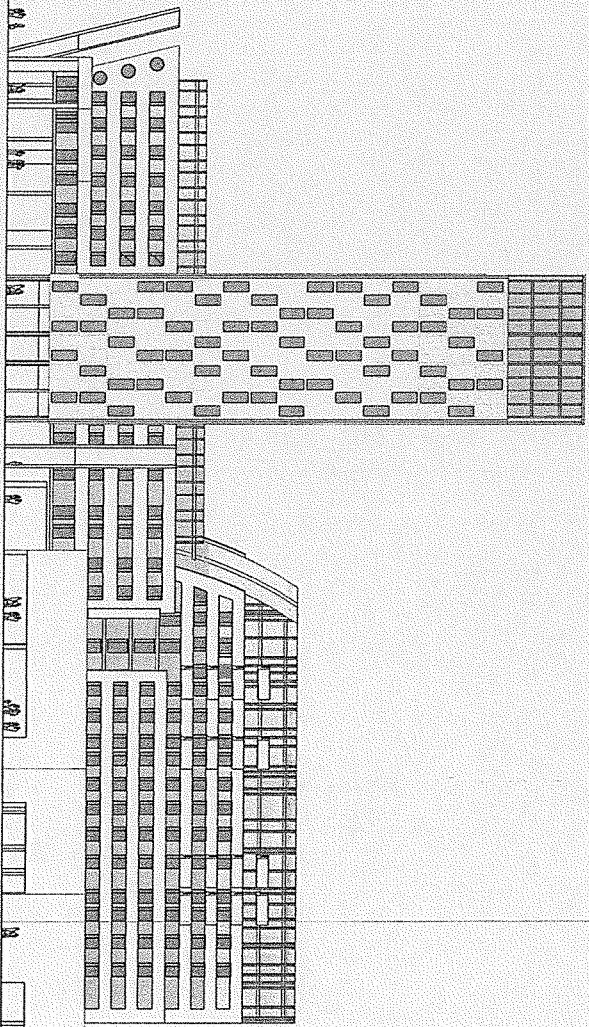
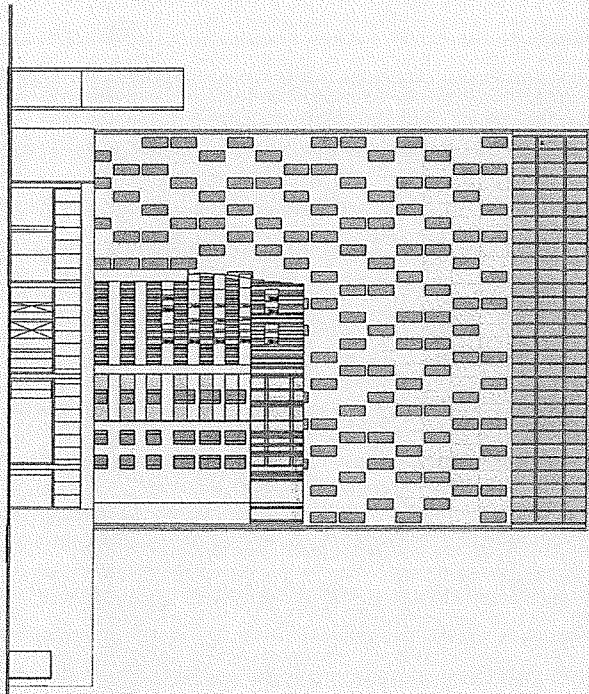
1. SITE AND SURROUNDINGS

- 1.1 The application site, herein referred to as site 1CW, forms an island, located at the centre of Colliers Wood between the intersections of Merton and Colliers Wood High Streets, Christchurch Road and Priory Road. It measures approximately 0.78 hectare and is triangular in shape, tapering towards the intersection of Christchurch Road and Colliers Wood High Street to the north. Colliers Wood High Street borders the site to the west, Christchurch Road on the north and eastern boundaries and Priory Road to the south.
- 1.2 Directly opposite the site on Christchurch Road is the Colliers Wood Underground Station and on the opposite side of Priory Road is Priory Retail Park, comprising, Currys, Burger King, Harveys etc. The Holiday Inn hotel is

space, 629 square metres of new library facility, a café/bar, leaving about 876 square metres of Class B1 business / office space.

- 2.2 **The tower and the two 6 storey extensions:** This aspect of the development comprises a 2 storey roof top extension to the tower (increasing its height by 5 metres to 59 metres) and two 6 storey extensions (each measuring 20 metres in height) to the north and south of the tower. The 2 storey roof top extension is intended to hide the existing unsightly plant room and upgrade the image of the tower. The 6 storey extensions are positioned obliquely to provide appropriate backdrop from the tower to the public open space being created on the northern side of the site. The northern extension is also intended to create a notional front entrance to the tower with distinctive sloping façade, which provides a scope for plasma translucent artistic images / public information or limited advertising screen. The northern building comprises the café/bar at ground and mezzanine level, whilst the ground and first floor of the tower is dedicated to retail use. The remainder of the space comprises residential flats. The southern extension provides a linkage between the tower and the new south block.
- 2.3 **The new 10 storey building otherwise known as the south block** replaces the unsightly spiral multi-storey car park and measures 29.5 metres in height. The building comprises a double storey public library at ground and mezzanine levels and office accommodation at first floor level. The upper floors comprise a total of 98 self contained flats. The building is designed with a sloping / parabolic façade facing the tower. The rationale behind this is to prevent overshadowing and loss of light to the lower part of the tower. The roof of the building would provide communal amenity space for the residential occupiers of the building.
- 2.4 The underlying concept of the design approach is to create a development with varied massing and more dynamic composition of the build form. The facing materials to be used vary from curtain wall glazed screens for the roof top extension to the tower and the uppermost storeys of the 6 storey extensions, insulating render system using bright colours on the facades of the existing tower and the other 3 buildings, powder coated aluminium framed windows throughout the development and rendered arcade columns with mosaic or aluminium cladding on the Christchurch Road elevation of the proposed library at lower levels.
- 2.5 The landscaping for the proposed public park will provide various hard and soft landscaping features with attractive street furniture set in striking paviers. The open area will be designed as lawn at pavement level with linear seats. This area will be attractive with the afternoon sun and will act as visual amenity at all times and may be illuminated at night. The public square street level is mainly kept as hard landscape relying on the umbrella of trees for contrast and softening and providing stronger links with Wandle Park.
- 2.6 Provision is made within the development for 76 car parking spaces on the ground and first floor levels of the proposed south block, together with storage facilities for bicycles. Vehicular access to the site would be from Christchurch

Appendix 2.
 Elevations
 10/02/184.



Scale: 1:100
 Scale: 1:50
 Scale: 1:20

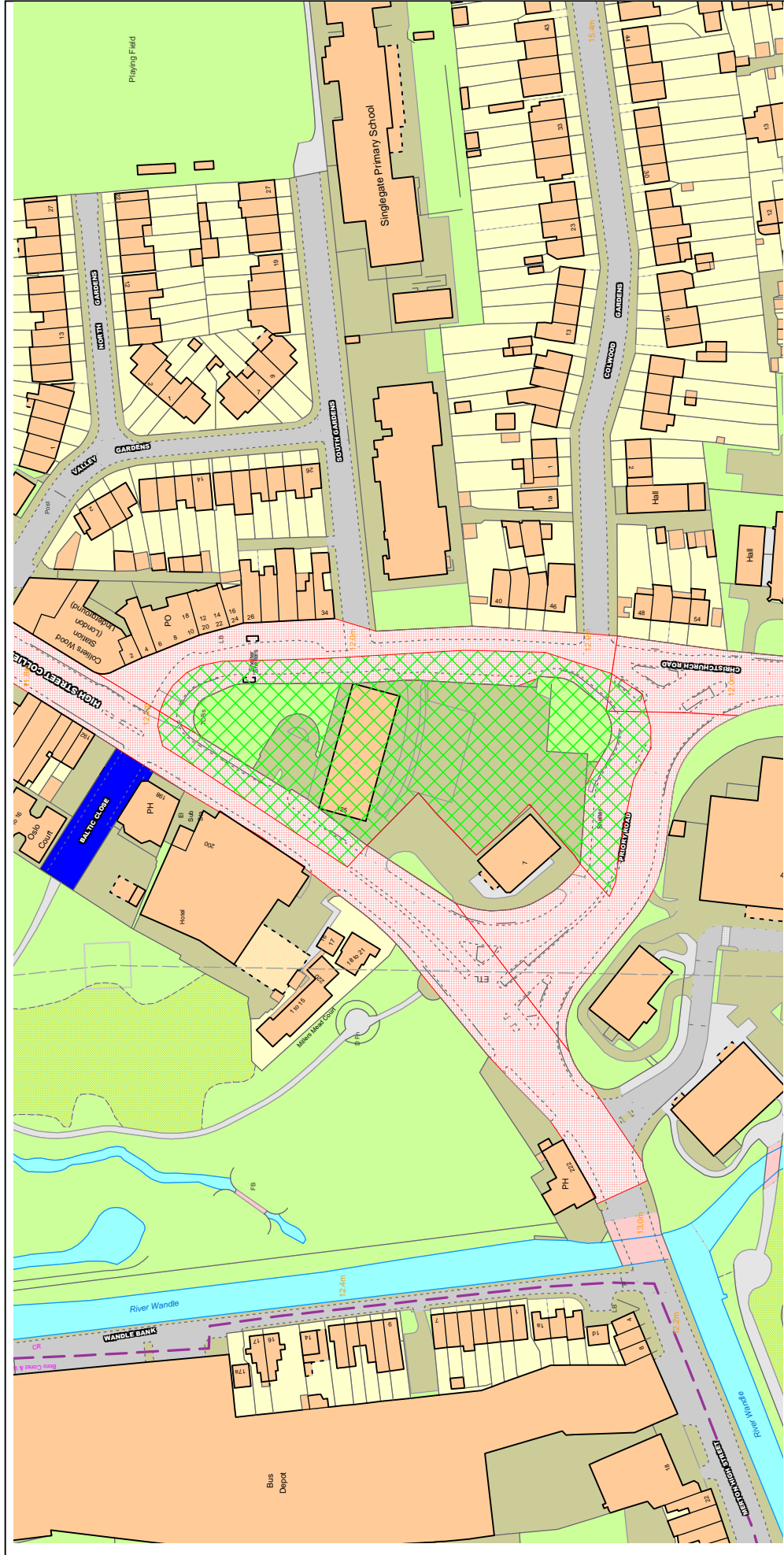
Landon Borough of Wyren
 -1 OCT 2018
 Planning Development Control

THE TOWER, 125 HIGH STREET
 COLLERS WOOD, SW19 2LR
 CAPITAL CRITERION
 PROPOSED ELEVATIONS
 WITH INDICATIVE MATERIALS

bm
 burgess meon architects
 195-1, Victoria Road
 121, Riverside 1st
 London SW16 6AA
 1:020 8944 8030 1:020 8944 8506 e: bmo@burgessmeon.co.uk
 1:250 210805 P07

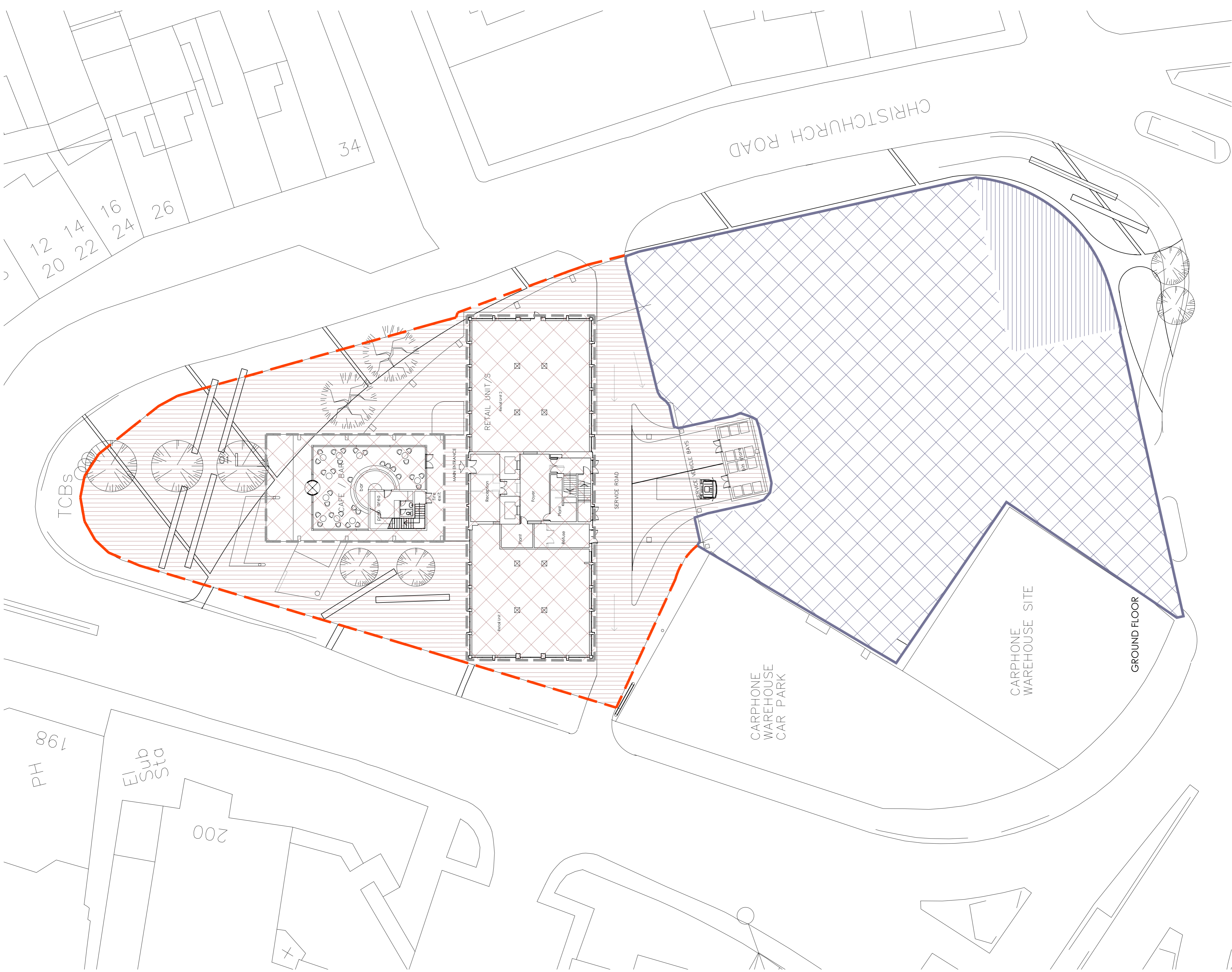
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NORTHGATE SE GIS Print Template



Text Details 125 High St, Colliers Wood

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LEGEND

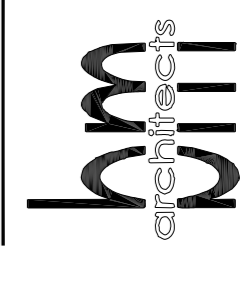
- PHASE 1
- PHASE 2
- SITE BOUNDARY LINE
- PHASE 1
- PHASE 2

Rev A - Phases and hatching altered 08.11.11

THE TOWER, 125 HIGH STREET
COLLIERS WOOD, SW19 2JR

client
CAPITAL CRITERION

description
GROUND FLOOR PLAN
PHASES



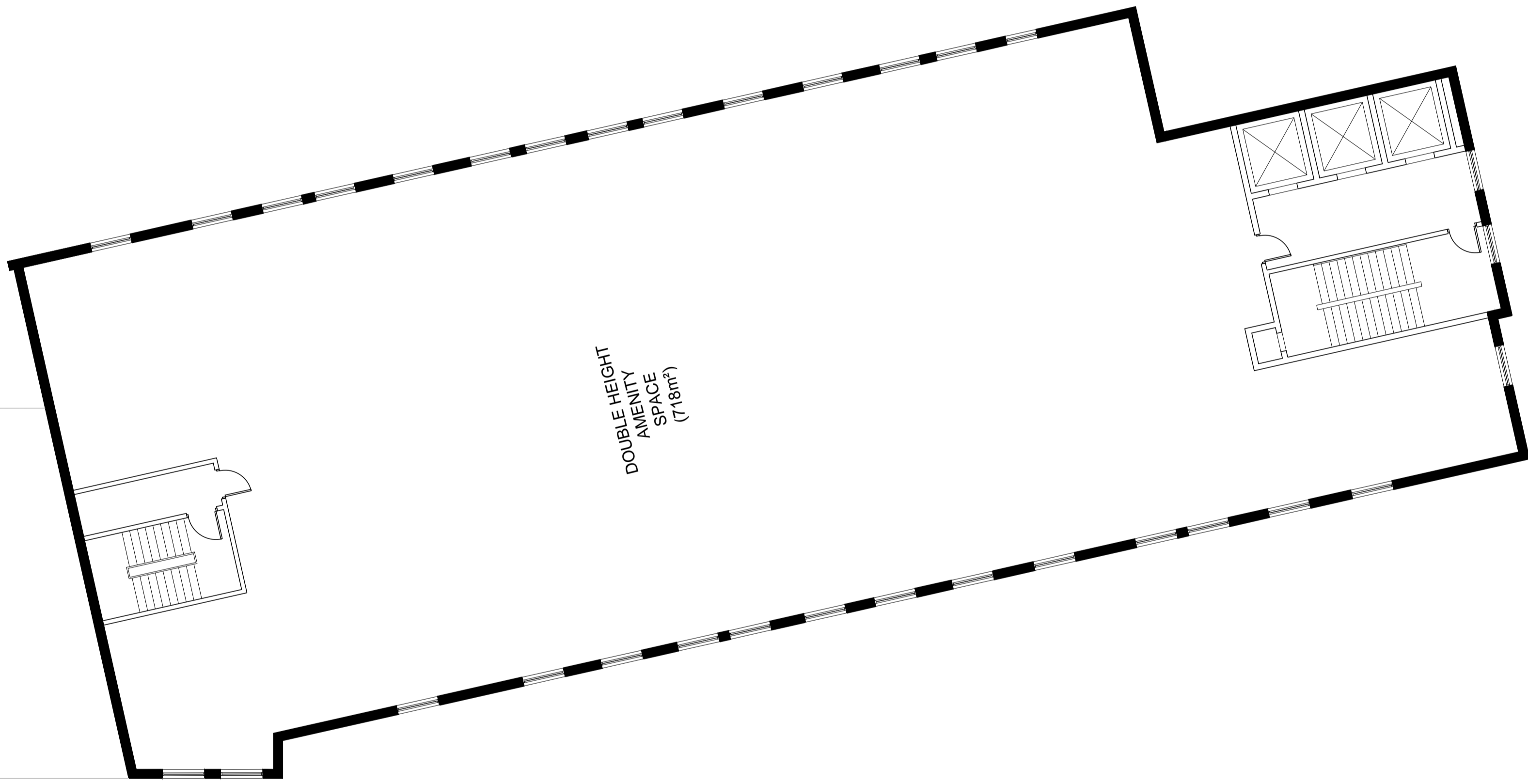
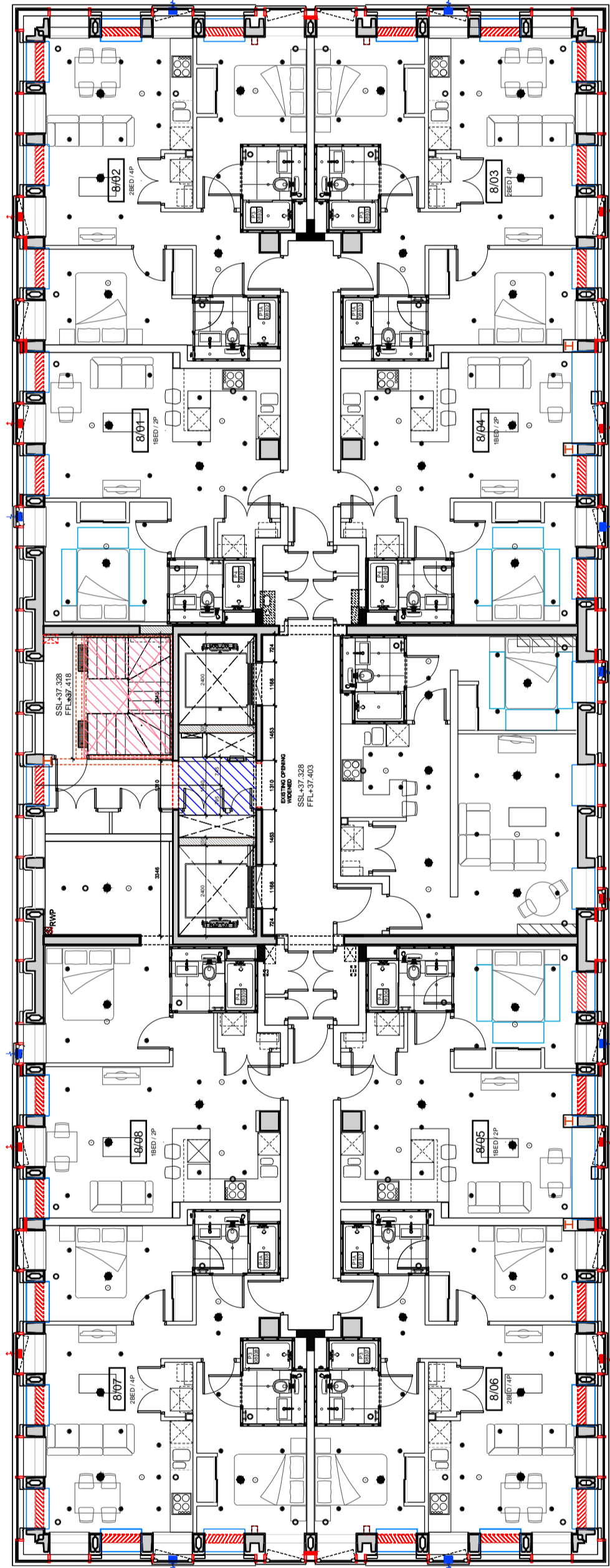
burgess mean architects
unit 1, the warehouse
12, ravenbury terrace
london
SW18 4RL

date: 08.11.11
scale: 1:250
project: 210805 | P008 | A
drawing: [blank]
revision: [blank]

t: 020 8944 8050 f: 020 8946 9506 e: bma@burgessmean.co.uk
checklist: [blank]







DOUBLE HEIGHT
AMBIENT
SPACE
(180m²)

CRITERION
CAPITAL

KDS ASSOCIATES LTD
ARCHITECTS

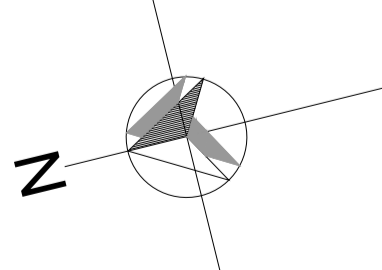
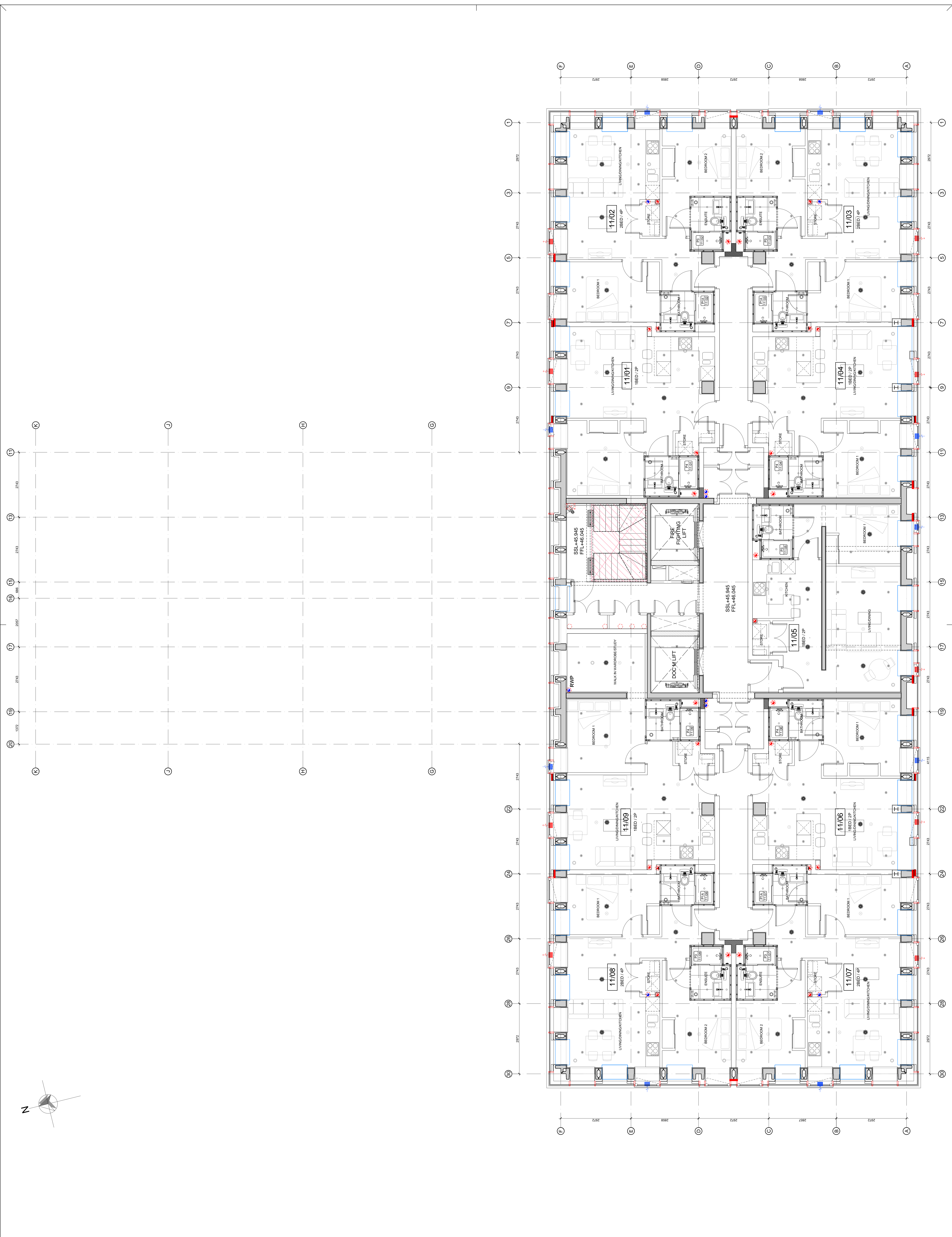
PROJECT
COLLIERSWOOD
17-18 COLLIERS STREET
LONDON

SCALE: 1:125 @ A0
22.08.2015 - JT

DATE: 11.12.15 @ A0
3/19

PROJECT: EIGHTH FLOOR PLAN
GENERAL ARRANGEMENT

LO/03/009 P1



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 DESIGN ARCHITECTURE MANAGEMENT CONSULTANTS

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 BRISTOL, BR3 4YD
 T: 01273 750155 F: 01273 750156
 WWW.KDSASSOCIATES.CO.UK

PROJECT

COLLIERS WOOD
 125 HIGH STREET
 LONDON

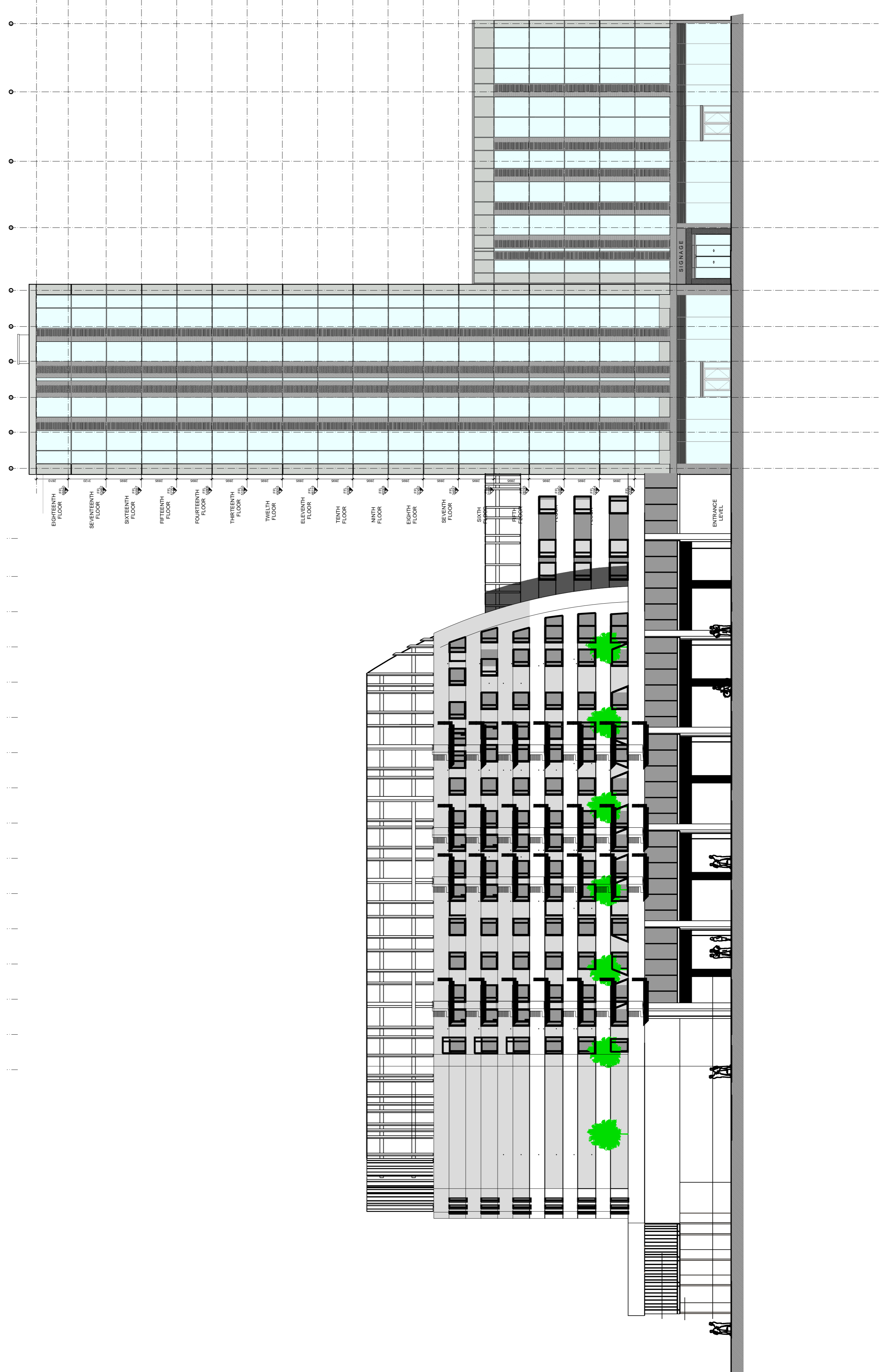
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DRAWING NO: 3419

DRAWING TITLE: EAST ELEVATION

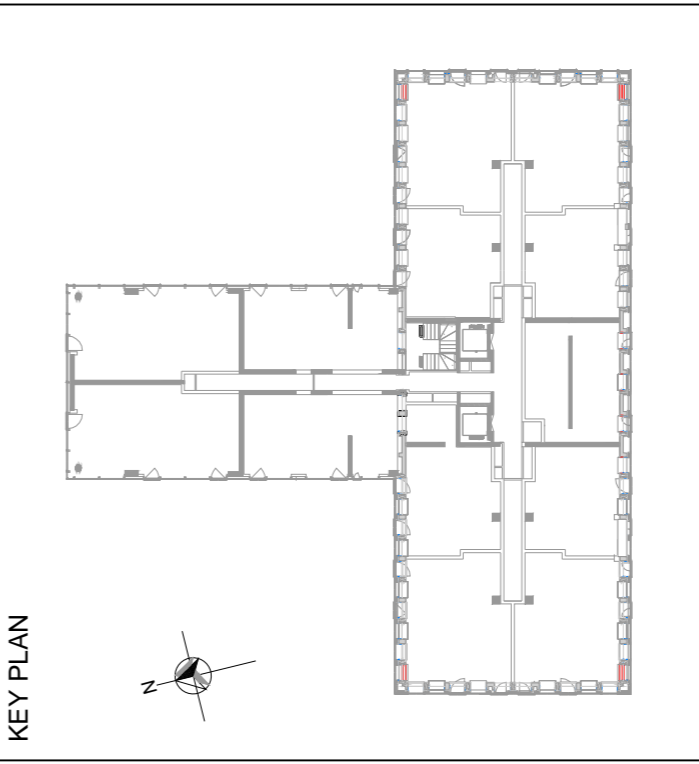
REV: LO(05)102



EAST ELEVATION

KEY

1	ALUMINIUM CLADDING
2	GLAZED SPANDREL PANEL
3	GLAZING (as part of aluminium facade)
4	LOUVRED ALUMINIUM CLADDING
5	LIMESTONE CLADDING



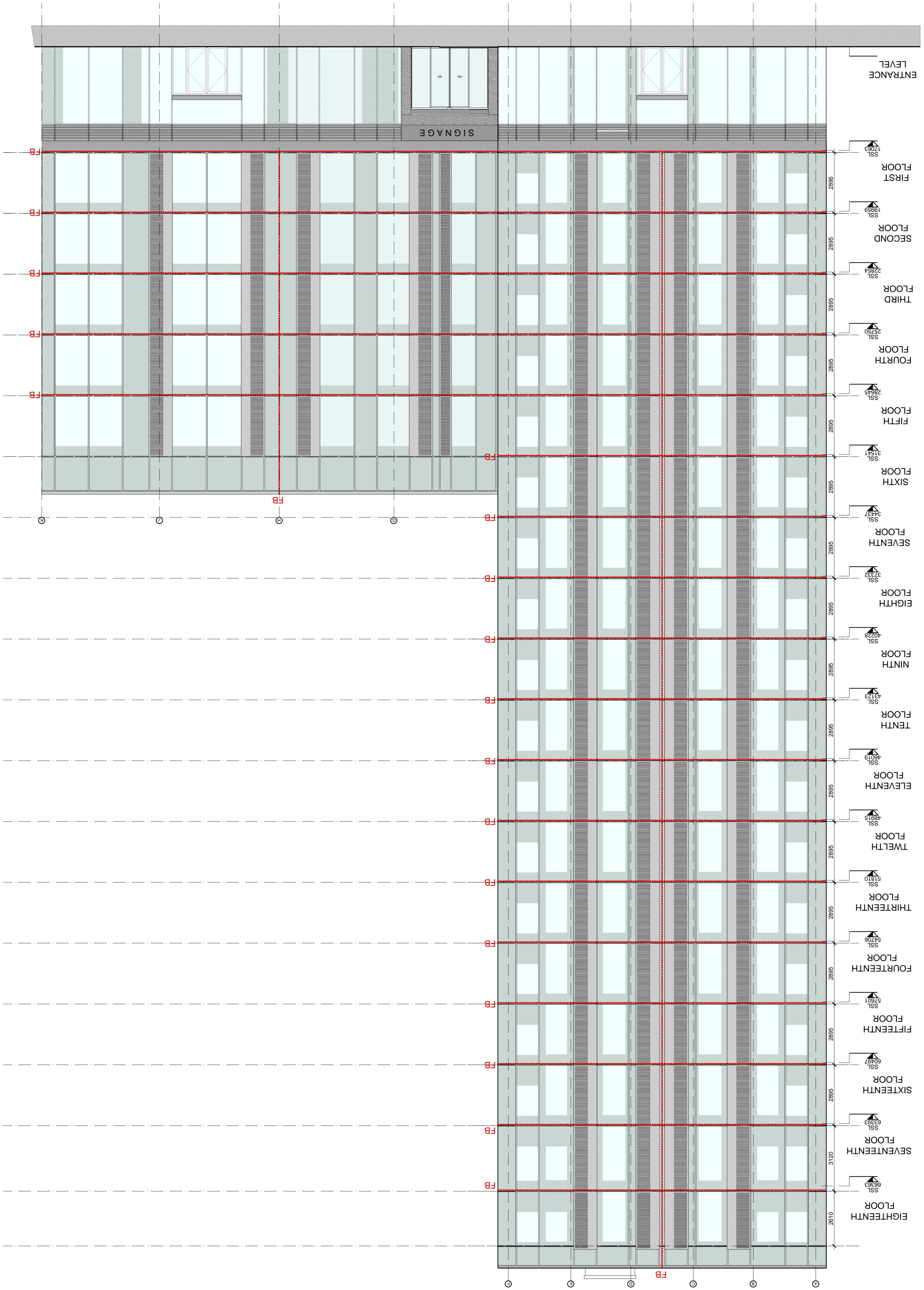
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PROJECT
**COLLIERS WOOD
 125 HIGH STREET
 LONDON**

DATE DRAWN BY: 16.03.2012 KS
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 DRAWING NO: 3419
 DRAWING TITLE: EAST ELEVATION
 REV: LO(05)1002

EAST ELEVATION



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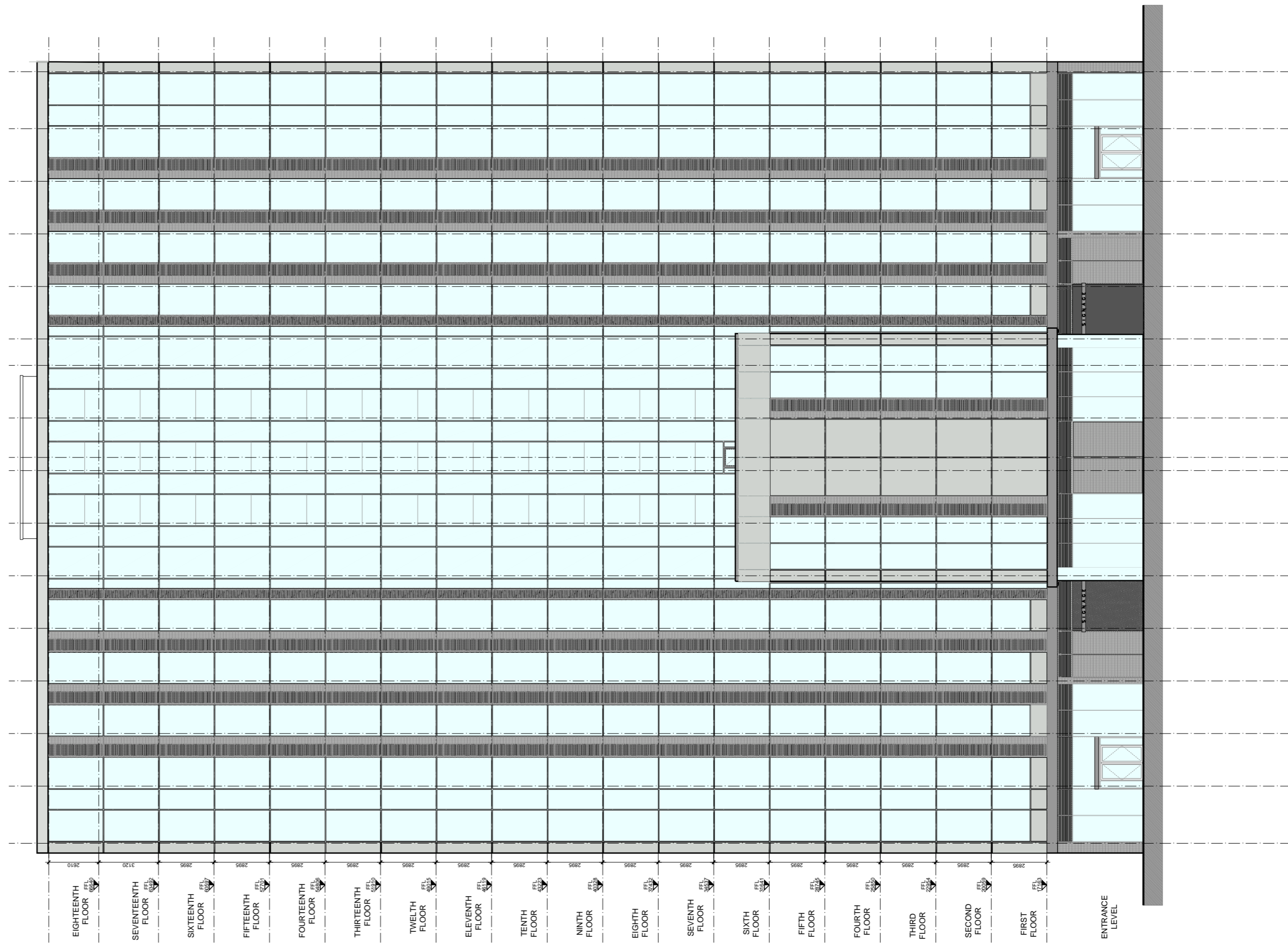
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COLLIERS WOOD
125 HIGH STREET
LONDON

DATE: 25.05.2015 KS
SCALE: 1:200 @ A1

DRAWING NO: 3419
DRAWING NO: NORTH

REV: LO(05)101

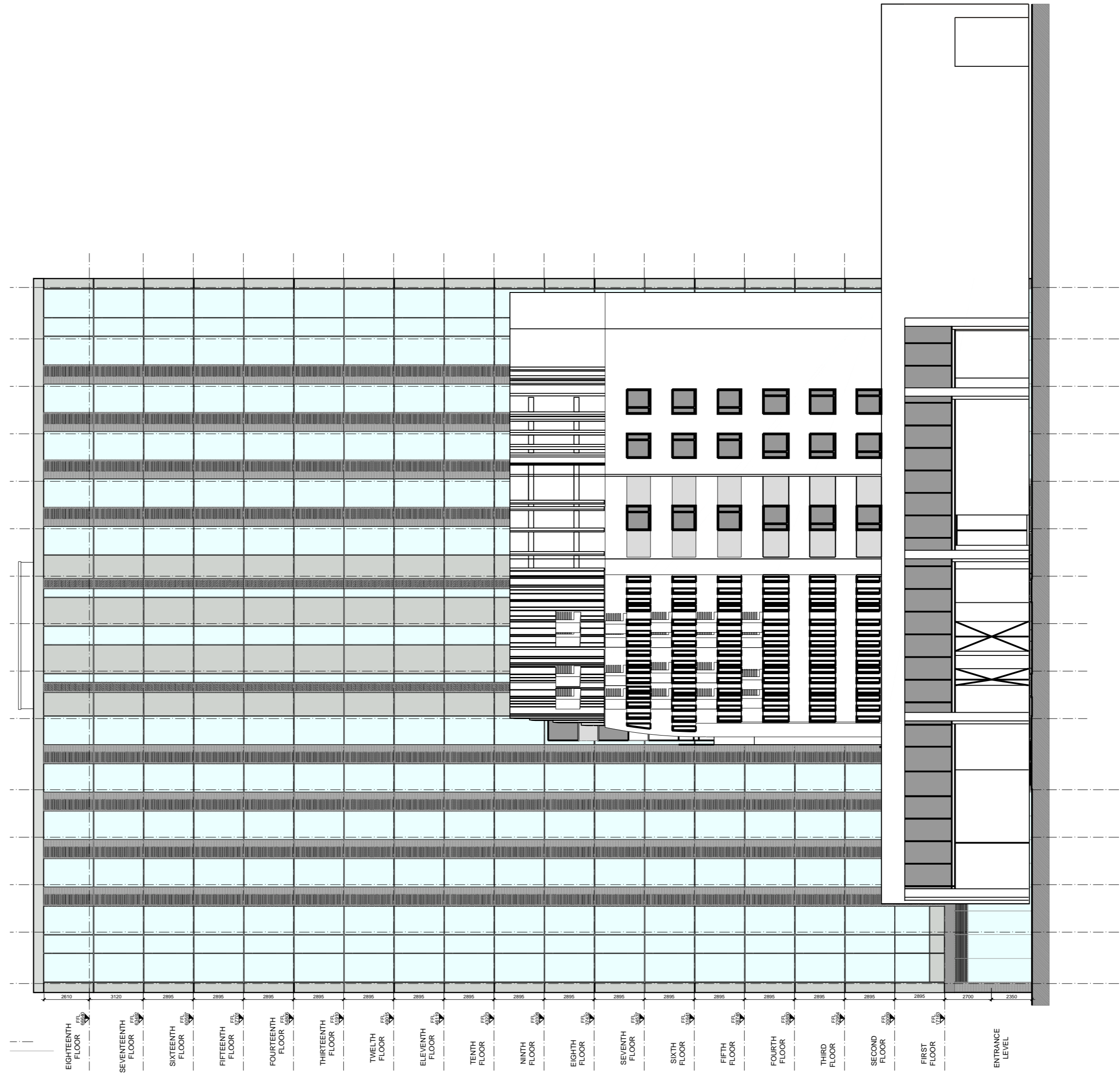


NORTH ELEVATION

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SOUTH ELEVATION

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DRAWING NO: SOUTH
REV: LO(05)100

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PROJECT

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125 HIGH STREET
LONDON

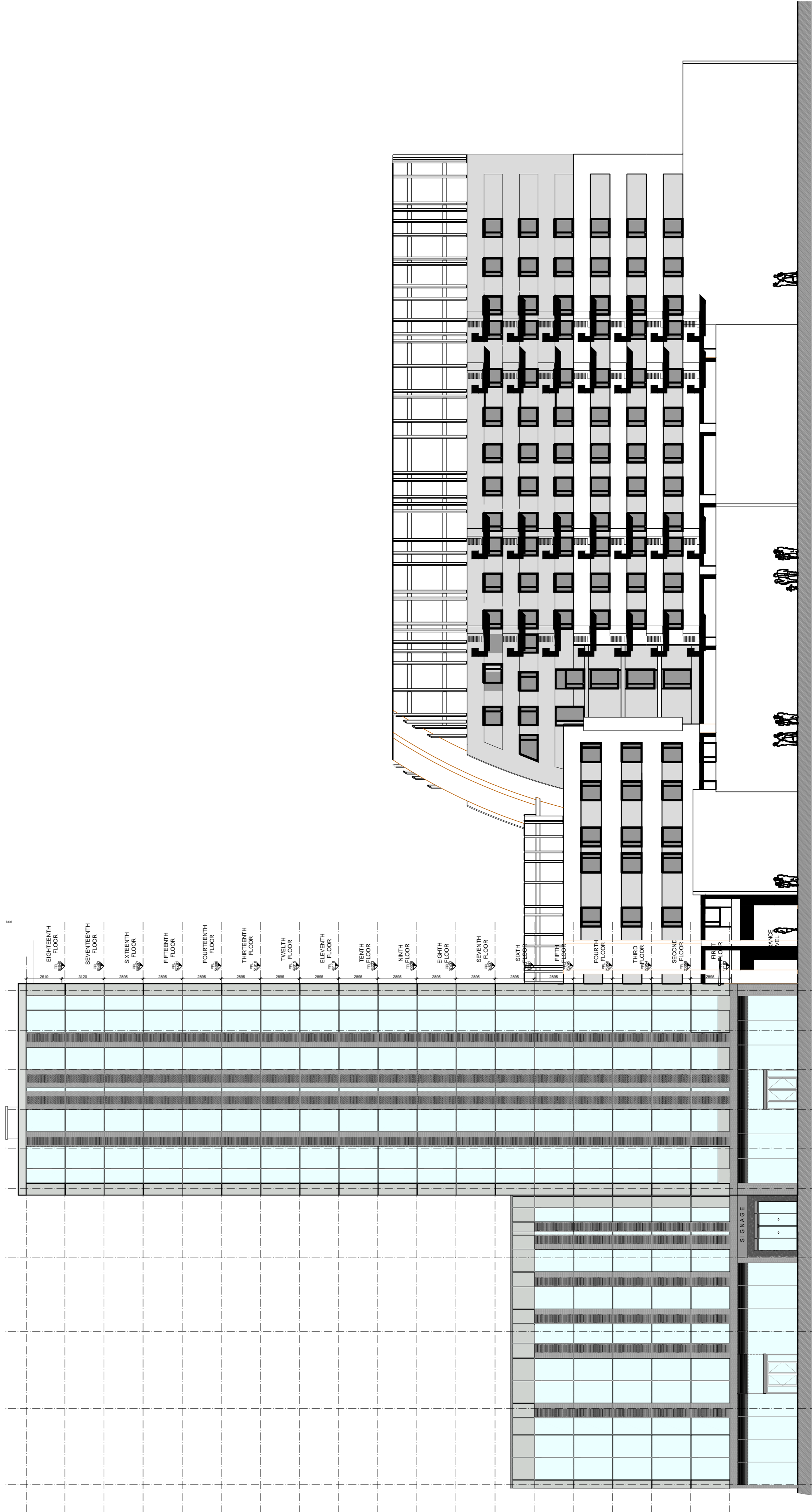
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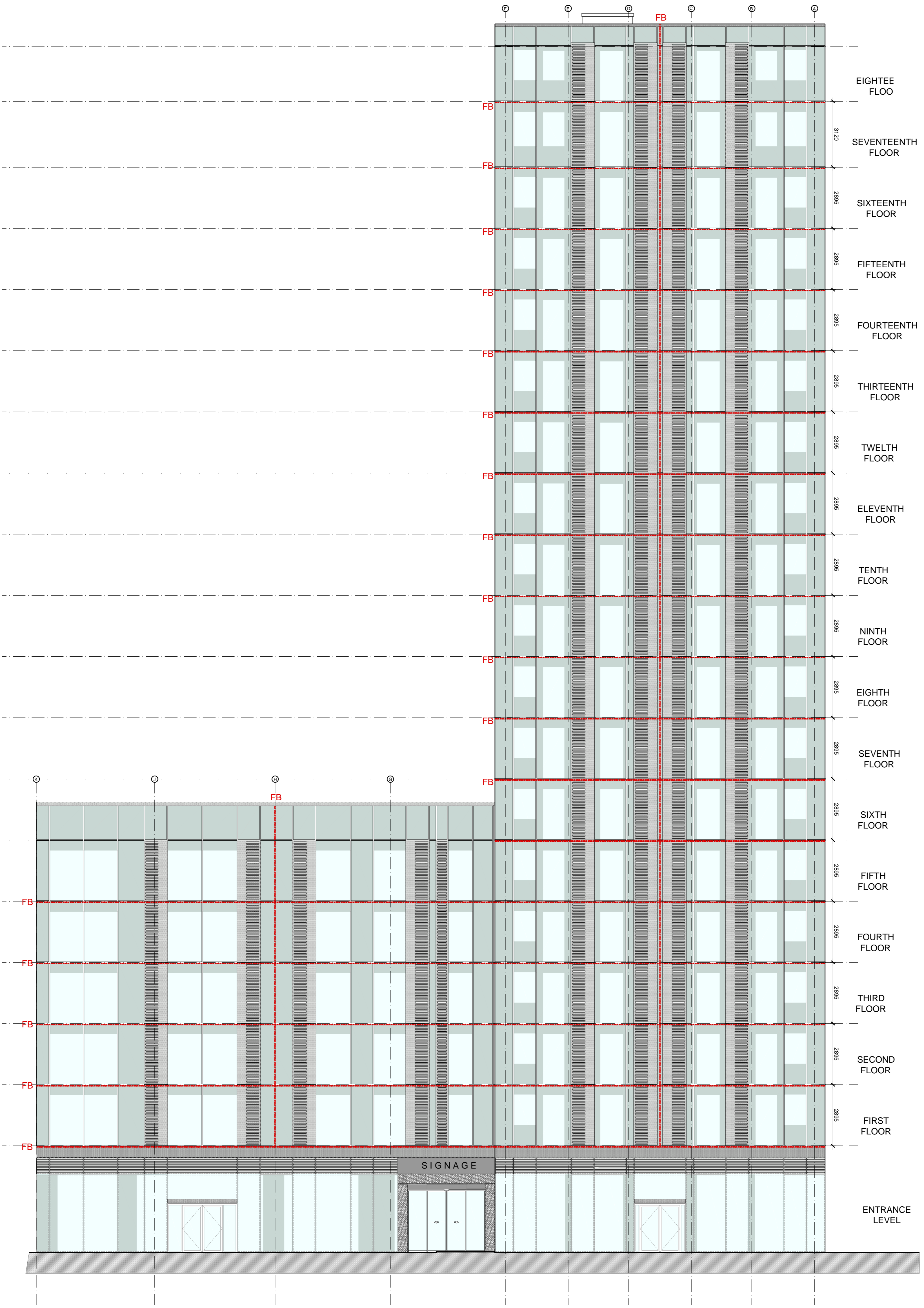
PROJECT NO: 3419

DRAWING NO: GALEVATION WEST

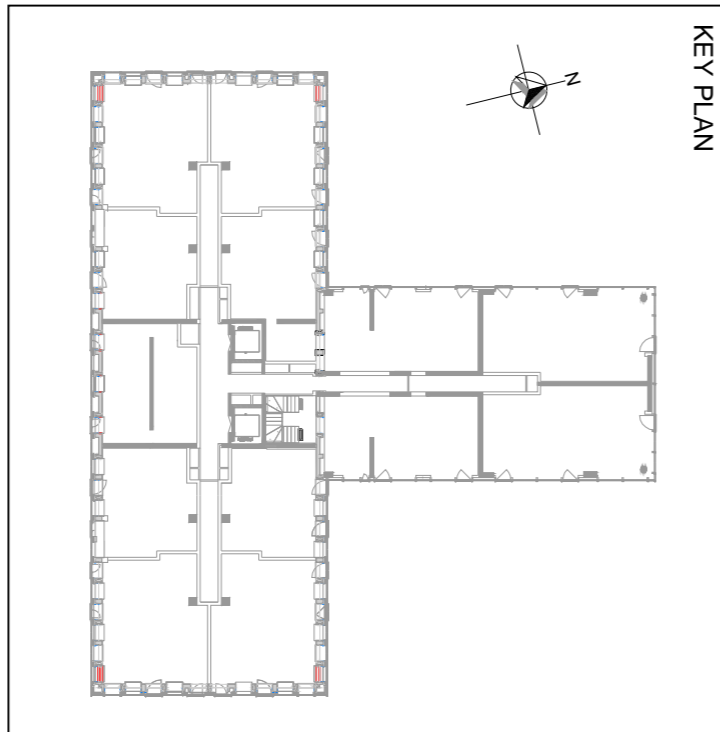
REV: LO(05)103



WEST ELEVATION



WEST ELEVATION



- ALUMINIUM CLADDING
- GLAZED SPANDREL PANEL
- GLAZING (as part of aluminum facade)
- LOUVERED ALUMINIUM CLADDING
- LIMESTONE CLADDING

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PROJECT
 COLLIER'S WOOD
 125 HIGH STREET
 LONDON
 PROJECT NO
 3419
 DRAWING NO
 LO(05)1003

PLANNING APPLICATIONS COMMITTEE

23 May 2016

Item No:

UPRN	APPLICATION NO.	DATE VALID
	15/P0890	03.03.2015

Address/Site The Cricketers Public House, 340 London Road,
Mitcham, CR4 3ND

(Ward) Cricket Green

Proposal: Demolition of existing buildings and construction of a part 2, part 3 storey building to provide 10 homes with associated access, car parking, cycle parking, refuse/recycling storage and landscaping

Drawing No's Site location plan, drawings; 00842_B_01 P02, 00842_B_02 P02, 00842_B_03 P03, 00842_B_04 P02, 00842_S_02 P02, 00842_S_03 P05 & 00842_S_04 P02,

Contact Officer: Leigh Harrington (020 8545 3836)

RECOMMENDATION
GRANT PERMISSION SUBJECT TO CONDITIONS.

CHECKLIST INFORMATION.

- S106 Heads of agreement: No
 - Is a screening opinion required: No
 - Is an Environmental Statement required: No
 - Has an Environmental Impact Assessment been submitted –No
 - Design Review Panel consulted – Yes
 - Number of neighbours consulted – 40
 - Press notice – Yes
 - Site notice – Yes
 - External consultations: Two
 - Number of jobs created – n/a
 - Density 142 units per ha
-

1. INTRODUCTION

- 1.1 The application is brought back before PAC following a deferral at the meeting of March 17th to allow the proposals to be discussed by the Design Review Panel.

2. SITE AND SURROUNDINGS

- 2.1 This is a 0.07 hectare site located at the junction of Lower Green West with London Road, south of Mitcham Town Centre. The Cricketers is a vacant two storey 1950s public house with ancillary living accommodation. Currently the site boundary is marked by a dilapidated wooden fence and hedging. Land on the opposite side of London Road and the land that borders the Fire Station and Vestry Hall to the west and north, is designated as Open Space and Green Corridor.
- 2.2 The site is within Mitcham Cricket Green Conservation Area, and an Archaeological Priority Zone. To the north is Vestry Hall and to the west is Mitcham Fire Station, both of which are locally listed buildings. There are also a number of statutorily listed buildings in the immediate area. The surrounding character is mixed, comprising properties from various periods with different design features and massing, and a wide range of uses, including retail, office, school, residential and community.
- 2.3 Members recently approved the demolition of the nearby Kwik Fit building and the erection of a block of 22 flats on that site.
- 2.4 The application site enjoys good access to public transport, (PTAL level 4), and is not in a Controlled Parking Zone.

3. CURRENT PROPOSAL

- 3.1 The current proposal involves the demolition of the existing buildings and construction of a part 2, part 3 storey building to provide 10 homes with associated access, car parking, cycle parking, refuse/recycling storage and landscaping. The proposed internal layout comprises one x 2 bedroom and one x 3 bedroom flats at ground floor level, three x 2 bedroom and one x one bedroom flats at first floor and two x 2 bedroom, one x 1 bedroom and 1x studio units on the second floor. On-site provision is made for 20 new cycle parking spaces and 6 car parking spaces including a disabled bay are provided as well as a self contained refuse area.
- 3.2 There would be a shared screened garden space of around 130sqm along the Lower Green West frontage as well as new planting on the London Road elevation. Works to the pavement area on both these elevations to provide two extra parking spaces, landscaping and four waiting bays are also included.

- 3.3 Separate access to the front ground floor flat and a communal entrance for the other 9 flats is proposed from London Road.
- 3.4 Following the initial public consultation and in response to ongoing discussions with officers the scheme has been amended in terms of external appearance, internal layout and the quantum of development with the number of units being reduced from 11 to 10.

4. PLANNING HISTORY

- 4.1 14/P1087 Planning permission granted for demolition of an existing outbuilding and conversion and extension of the ground floor of existing building to provide a commercial use (use within classes A1 (retail), A2 (financial and professional services), A3 (restaurants and cafes) and A4 (drinking establishments)) and conversion of upper floors to provide three residential units and ancillary commercial office for ground floor use with associated access, car parking, cycle parking, refuse/recycling storage and landscaping.
- 4.2 13/P1019 Lawful development certificate issued in respect of the proposed change from public house (class A4) to retail (class A1), professional & financial services (class A2) and/or restaurant and cafe use (class A3).
- 4.3 13/P1077 Application granted by PAC for change of use of existing public house (class A4) into 7 x self-contained flats (comprising 4 x 1 bed flats and 3 x studio flats).
- 4.4 12/P2083- Appeal against non-determination dismissed - Demolition of existing public house and redevelopment of the site with a new building providing 16 flats (11x1 bed, 5x 2bed) over four floors with associated parking.

Decision of Committee: Had the Council been in a position to determine the application, it would have refused planning permission for the following reasons:

- i) The proposed development, by virtue of its design, bulk, height and scale, on this landmark site within a Conservation Area, would:**
 - (a) fail to respect or complement the design, scale, massing and form of existing nearby buildings, particularly locally listed buildings Vestry Hall and the Fire Station, which both together with The Cricketers, form the most significant group of buildings in this part of the Conservation Area;**
 - (b) fail to respect or complement the nearby historic Mitcham Cricket Ground;**
 - (c) fail to maintain important views within and out of the Mitcham Cricket Green Conservation Area, including views of Vestry Hall;**
 - (d) fail to enhance or preserve the character and appearance of the Mitcham Cricket Green Conservation Area; and**
 - (e) fail to provide a high standard of design that will complement the character and local distinctiveness of the adjoining townscape and landscape, contrary to Policies BE.1 and BE.22 of the Adopted Merton**

Unitary Development Plan (October 2003), and contrary to Strategic Objective 8 and Policy CS14 of the Merton LDF Core Planning Strategy (2011) and London Plan 2011 policies 7.4 (Local Character), 7.6 (Architecture), 7.8 (Heritage Assets and Archaeology), 7.9 (Heritage-Led Regeneration).

- 4.5 12/P2084 – Appeal against non-determination dismissed – Conservation Area Consent in respect of 12/P2083.

Decision of Committee - Had the Council been in a position to determine the application, it would have refused Conservation Area Consent for the following reason:

The demolition of the existing buildings would be premature and inappropriate in the absence of suitable replacement buildings and would be harmful to the appearance of the Mitcham (Cricket Green) Conservation Area contrary to Policy BE.2 of the Adopted Merton Unitary Development Plan (October 2003).

- 4.6 11/P3229 – Planning permission refused at PAC -16 February 2012 – Demolition of existing public house and redevelopment of the site with a new building, providing 16 flats (11 x 1 and 5 x 2 bedrooms), over four floors, with associated parking provision.

Reason for refusal:

i) The proposed development, by virtue of its design, bulk, height and scale, on this landmark site within a Conservation Area, would –

- (a) fail to respect or complement the design, scale, massing and form of existing nearby buildings, particularly locally listed buildings Vestry Hall and the Fire Station, which both together with The Cricketers, form the most significant group of buildings in this part of the Conservation Area;**
- (b) fail to respect or complement the nearby historic Mitcham Cricket Ground;**
- (c) fail to maintain important views within and out of the Mitcham Cricket Green Conservation Area, including views of Vestry Hall;**
- (d) fail to enhance or preserve the character and appearance of the Mitcham Cricket Green Conservation Area; and**
- (e) fail to provide a high standard of design that will complement the character and local distinctiveness of the adjoining townscape and landscape, contrary to Policies BE.1 and BE.22 of the Adopted Merton Unitary Development Plan (October 2003), and contrary to Strategic Objective 8 and Policy CS14 of the Merton LDF Core Planning Strategy (2011).**

- 4.7 11/P3273 - Conservation Area Consent refused at PAC 16 February 2012 - Demolition of existing public house in connection with planning application 12/P2083.

Reason for refusal:

The demolition of the existing buildings would be premature and inappropriate in the absence of suitable replacement buildings and would be harmful to the appearance of the Mitcham (Cricket Green) Conservation Area contrary to Policy BE.2 of the Adopted Merton Unitary Development Plan (October 2003).

The above application references (11/P3229 and 11/P3273) were both dismissed at appeal.

- 4.8 10/P1090 – Planning permission refused at PAC - 9th December 2010 - and dismissed at appeal – Demolition of existing public house and redevelopment with a commercial (Classes A1, A2, A3, B1 or D1uses) unit at ground floor and 17 flats (10 x 1, 6 x 2 and 1 x 3 bedroom) over part ground, first, second and third floors, with associated parking provision.

Reason for refusal:

The proposed development, by virtue of its design, bulk and scale, on this landmark site within a Conservation Area, would –

- (a) fail to respect or complement the design, scale and form of existing nearby buildings, particularly Vestry Hall, a locally listed building and the Fire Station, and also Listed Buildings in the vicinity;**
- (b) fail to respect or complement the nearby historic Mitcham Cricket Ground;**
- (c) fail to maintain important views within and out of the Mitcham Cricket Green Conservation Area; (d) fail to enhance or preserve the character and appearance of the Mitcham Cricket Green Conservation Area; and**
- (d) fail to provide a high standard of design that will complement the character and local distinctiveness of the adjoining townscape and landscape, contrary to Policies BE.1 (iii) and BE.22 (i) & (ii) of the Adopted Merton Unitary Development Plan (October 2003).**

- 4.9 10/P1911 – Conservation area consent refused at PAC - 9th December 2010 - and dismissed at appeal - Demolition of existing public house in connection with planning application 10/P1909.

Reason for refusal:

The demolition of the existing buildings would be premature and inappropriate in the absence of suitable replacement buildings and would be harmful to the appearance of the Mitcham (Cricket Green) Conservation Area contrary to Policy BE.2 of the Adopted Merton Unitary Development Plan (October 2003).

5. CONSULTATION

- 5.1 The proposal was publicised by means of major and conservation area press and site notices, also letters were sent to 40 neighbouring occupiers. In response one objection letter has been received from local residents raising the following issues:

- This is an important historic site and development needs to respect that.
- The proposal will result in additional traffic in a busy area and vehicular access to and from the site will be difficult.
- The amount of development will leave little space for landscaping

Mitcham Cricket Green Community and Heritage Group - objection to the initial design:

- This is an important site and the proposals are neither modest nor of outstanding design.
- The new building is too large to avoid disrupting the visual relationship of the existing buildings and open space and too poorly designed to compete with Vestry Hall and the old Fire Station for attention without damaging the area.
- Bland 'could be anywhere' approach that owes little to context.
- Competes with Vestry Hall for size and scale without an equivalent high standard of design
- Has the same failings as the 2013 refusal
- Still introduces a large scale urban bulk into a sensitive Triptych of buildings on this landmark site
- Damages views of the Cricket Green with a clumsy roof, too many windows facing Cricket Green
- Introduces large area of private land in heart of an area of common land
- Has living spaces that don't meet the London Plan requirements
- Fails to address issues of ownership of the land in front of the site
- Does not address detrimental impact of light pollution identified by the Inspector in 2013
- Prevents the future of the whole island site, Vestry Hall and the Fire Station being considered together
- Fails to address the NPPF requirements for schemes to understand the potential impact of the proposals on the significance of other neighbouring Heritage assets.

The Group was re-consulted on the revised drawings and whilst they consider the revision to be an improvement their comments above continue to stand and add the following comments;

- The proposals introduce private residential development onto Lower Green West, an open area which only has buildings of community use
- Don't preserve or enhance the CA and won't be capable of being listed in 30 year's time. The revised design is derivative and lacks any distinction. Takes its cues from the other buildings rather than adding to the character.
- Still introduces a large scale urban bulk into a sensitive triptych of buildings on this landmark island site between two critically important open spaces at the heart of the conservation area. It competes with the locally listed buildings rather than enhance them.
- Does not respect the prominence of the site which can be viewed from many angles, view across Lower Green West will be a notably weaker

elevation of inferior design quality. The front and back have not been given equal attention in the plans.

- If the scheme is approved careful attention needs to be given to the materials and the way that they will weather and for this to be approved by conservation expert.
- A landscaping scheme should be submitted for approval

One letter was received stating the proposed brickwork should match the colour of the surrounding buildings.

- 5.2 Transport Planning have confirmed the site has good access to public transport (PTAL level 4) and is not located in a CPZ. London Road is part of the strategic road network with significant levels of pedestrian and vehicular traffic along its length. There is no on street parking in the vicinity of the site because of bus lanes and double yellow lines. The numbers of on-site parking bays are within London Plan guidelines, but a parking management condition should be imposed. The proposed level of cycle storage is acceptable but needs a condition attached requiring details to be approved of the design and method of storage. Subject to appropriate conditions there are no anticipated adverse impacts in terms of traffic generation or highway safety and therefore no objections to the principle of the development.
- 5.3 Environmental Health advise that the site is located on a busy road junction, in close proximity to the Fire Station and Vestry Hall. In the event that the scheme is recommended for approval, conditions relating to Noise Survey, Air Quality Survey, hours for demolition and construction, ground contamination/ remediation and working method statement should be imposed.
- 5.4 The Police Safer by Design Officer was consulted on both designs and offered the following comments on this revision; Planting should not impede the opportunity for natural surveillance and avoid the creation of hiding places, Lighting should there should be to British Standard avoiding various forms of light pollution, Communal space should not abut ground floor windows and doors and a defensible buffer zone should reduce ease of approach to Bedroom 1 of the corner plot and beds 1 7 2 of the rear unit, communal door should be video controlled, undercroft parking should have light colour finishes to maximise effectiveness of the lighting, cycle racks need two securing points, refuse and cycle store locks need a thumb turn to prevent accidental locking, fencing and gates design is needed, clear demarcation is needed for the front bays to prevent continued use by non-residents and the development should seek full Safer by Design accreditation.
- 5.5 Historic England were consulted as the site is located within an Archaeological Priority Zone and they raised no objection subject to the inclusion of suitable conditions.

5.6 Design Review Panel. In May 2015 an earlier version of the application went to the Design Review Panel which gave that design a RED. The design was therefore amended in response to those comments, resulting in the scheme currently before members.

The current proposal was discussed by the DRP at their meeting on April 19th 2016. They noted:

“The Panel spent almost an hour discussing the application for this site. They acknowledged that the applicant had addressed many of the concerns expressed at an earlier meeting and had explained the reasons for not adopting 4 others. However, this was seen as like a process of attrition, which made a good design difficult to come up with. The applicant needed to make it their own building, not one designed by committee

In assessing the proposal the Panel reiterated the importance of the heritage assets across the Conservation Area and confirmed its belief that ‘the bar should be set higher’ for the design of any application at this site. The site would form part of a group of high quality buildings in a wider context of many heritage assets.

The Panel felt that one measure of the quality of a building was how well it turned a corner. The Panel felt that the two primary elevations, if viewed together, did not sit well with each other (e.g. different window openings) and that the corner was not taken advantage of as a means of defining the building and its quality. The primary corner is the ‘specialness’ that an individual design could be built around

The Panel saw the proposal as ‘inoffensive’ but not as good as it should be. The design seemed too muted and deferential and this prevented the architecture from being engaging or expressing a feeling of delight. The Panel welcomed the analysis of the Vestry Hall, but saw that the end windows on the primary elevation did not match, with the southern one being half window, half south facing balcony. The northern ground floor opening frames a car space. Such compromises show the design is not of the highest quality. The panel still maintained that there was scope for balconies on this elevation.

Of the earlier concerns that the applicant has chosen not to address there was general agreement that the site was not suitable for residential accommodation on the ground floor with a number of reasons offered. This included the treatment of the private garden space in front of the building. Here the Panel felt that it would be a poor quality space that residents would either not use or would attempt to screen in a way that would reduce natural surveillance, screen the building and create clutter.

Visually the building should serve a public benefit but it was difficult to do with a private use. The Panel was unsure how a protected private

space on a publicly prominent site could be made to work. A non-residential use could have a raised ground floor and improve the building proportions. It could also see the building being located closer to the edge of the site and so allow a more private amenity space at the rear.

There was still a belief that increasing the pitch of the roof had design merit. Similarly there was still a feeling that within the right design there could be scope to move the building closer to the Vestry Hall and for balconies fronting onto the Cricket Green. The Panel reiterated their previous assertion that a new building had the potential to successfully abut the blank end wall of Vestry Hall, whilst maintaining servicing access to the rear at ground level.

The Panel recognised the efforts that the applicant was making but in its final analysis concluded that the proposal did not achieve the design criteria expected for this very important site. 4 members gave the application a red light and 2 gave it amber.”

VERDICT: **RED**

- 5.7 In response to these comments the applicants have commented; “The DRP’s focus of comments as part of this presentation related to the introduction of a non-residential use at ground floor level and the design of the ‘corner’ of the scheme. There is also a suggestion that the pitch of the roof for the scheme should increase.

With regards to the introduction of a non-residential use at ground floor level, our client is pursuing a solely residential scheme based on previous appeal decisions and planning applications which supported solely residential development on the site. There is no planning policy requirement for a non-residential use.

In terms of the design approach taken, we have made significant alterations to the elevations of the proposed development following the first DRP. We consider that the proposal is of a high quality design. The planning policy ‘test’ is to preserve or enhance the Conservation Area and we strongly believe that the demolition of the existing building and the delivery of this new scheme meets this ‘test’. The elevational treatment facing Lower Green West provides visual interest and the pitch of the roof has been designed to reflect the character of the Vestry Hall building, but not to compete with it.

There are a number of material considerations that have been taken into account when developing this scheme which include previous Inspectors comments, DRP comments, Officer comments and the view of local residents. In our opinion, this proposals provides a design solution which seeks to balance these competing objectives.”

6. POLICY CONTEXT

- 6.1 Relevant policies in the London Plan (March 2015) are 3.3 (Increasing Housing Supply), 3.4 (Optimising Housing Potential), 3.5 (Quality and Design of Housing Development), 3.8 (Housing Choice), 5.1 (Climate Change), 5.3 (Sustainable Design and Construction) & 7.8 (Heritage assets and Archaeology)
- 6.2 Relevant policies in the Core Strategy (July 2011) are CS8 (Housing Choice), CS9 (Housing Provision), CS11 (Infrastructure), CS13 (Open Space, Nature Conservation, Leisure and Culture), CS14 (Design), CS15 (Climate Change), CS18 (Active Transport), CS19 (Public Transport), CS20 (Parking, Servicing and Delivery).
- 6.3 Relevant policies in the Adopted Sites and Policies Plan 2014 are DM D1 (Urban Design and the Public Realm), DM D2 (Design considerations in all developments), DM D3 (Alterations and extensions to buildings), DM D4 (Managing Heritage Assets), DM D5 (Advertisements), DM R2 (Development of town centre type uses outside town centres) DM R5 (Food and drink uses), DM EP 2 (Reducing and mitigating against noise) & DM EP 4 (Pollutants).

7. PLANNING CONSIDERATIONS

- 7.1 The main planning considerations include the loss of a public house; the impacts on the Mitcham Cricket Green Conservation Area; housing targets, affordable housing and standard of accommodation; impact on neighbouring amenity; parking and servicing; planning obligations.
- 7.2 Redevelopment involving loss of a public house.
The loss of the pub use has been considered in all of the previous planning applications with reference to former UDP policy L.16. This policy has now been superseded by policy DM R5 in the SPP 2014 and is also considered relevant as it seeks to protect public houses outside town centre locations unless:
- i) The applicant can demonstrate that the pub is no longer economically viable and
 - ii) There is alternative provision within the local area.
- 7.3 The Cricketers ceased trading in August 2010 and the building has been vacant since. Within the last month the other three public houses, the Queens Head, White Hart and Burn Bullock have all closed for an undisclosed period. However, in the previous applications the principle of the loss of the public house was not considered to warrant grounds for refusal and officers do not consider there to be grounds to depart from this position.
- 7.4 Impacts on the Conservation Area.
Mitcham Cricket Green Conservation Area was originally designated in 1969 and the particular features which merit the designation include its

historical background, the number of listed buildings and the character and diversity of buildings generally and the generous open spaces. The Cricketers Public House stands at a prominent corner site between the Vestry Hall and Mitcham Fire Station.

- 7.5 SPP policy DM D4 states that proposals for new development in conservation areas are required to preserve or enhance the character and appearance of the conservation area and development proposals are expected to complement the character and appearance of the wider setting, by careful consideration of how the proposed density, scale, design and materials relate to the urban setting in which the development is placed.
- 7.6 A number of previous applications have involved demolition of the pub and redevelopment of the site with a new building. Key reasons for refusal had related to the negative impact that larger replacement buildings would have had, particularly in relation to height, bulk and massing. However this scheme has been developed and refined such that whilst the eaves lines of the proposal and Vestry Hall are the same the roof scale and height of this proposal is significantly lower and subservient to that of Vestry Hall and marginally lower than the old Fire Station such that officers would dispute suggestions that the proposal is trying to compete with its locally listed neighbours.
- 7.7 The Council published the draft Mitcham Cricket Green Conservation Area Appraisal and Management Plan in 2010 and this noted that the Lower Green and Cricket Green form the central focus of the conservation area. The Inspector noted in his consideration of the 2010 scheme that the most dominant feature of the conservation area is the visual impact of the large areas of green space, around which built form is clustered creating well defined edges. The current scheme reflects the footprint of the existing building and retains much of the open space along the Lower Green West elevation whilst making a noticeable increase in the greenery on the London Road elevation.
- 7.8 The Mitcham Cricket Green Community and Heritage Group raised the issue of light pollution from windows overlooking Cricket Green which had been a concern of the Inspector at the appeal for application 12/P2083. In that scheme there were 13 single windows and four double units on three upper floors (Including a mansard roof). In this scheme there are only two upper floors and they have 8 windows and four balcony units facing the Cricket Green. Given the site's well lit nature and busy road in front of it, officers consider that the reduction in fenestration in terms of both the overall height and the number of actual windows is such that this concern has been satisfactorily addressed.
- 7.9 The principle of residential development on the site. Currently Policy CS. 9 within the Council's Adopted Core Strategy [July 2011] and policy 3.3 of the London Plan [March 2015] state that the

Council will work with housing providers to provide a minimum of 4,107 additional homes [411 new dwellings annually] between 2015 and 2025. This proposal will provide a new three bedroom house suitable for family accommodation and is therefore considered to accord with these policies.

7.10 Schemes for new development involving housing of 10 or more dwellings should provide on-site affordable housing subject to justification. The proposal was submitted with an Economic Viability Assessment that has been independently assessed by the Valuations Office taking into consideration matters such as construction costs, CIL costs, development costs including fees etc, the assigned existing use value of the site and sales values of the scheme's market homes. This assessment concluded that the scheme is unable to support an on-site affordable housing contribution.

7.11 Standard of Accommodation and Amenity Space.

The London Plan (2015) (Policy 3.5) and its supporting document, The London Housing Supplementary Planning Guidance 2015 provide detailed guidance on minimum room sizes and amenity space. These recommended minimum Gross Internal Area space standards are based on the numbers of bedrooms and therefore likely future occupiers. Each flat either meets or exceeds this standard, with all habitable rooms receiving reasonable levels of daylight, outlook and natural ventilation. Guidance suggests that the 5 person unit, Flat 1 should have a separate living and kitchen/dining area. However it does benefit from being more than 25m² larger than the minimum and has dual aspect with a larger than required amenity area and consequently officers do not consider that this would represent a matter that could justify refusal of the application. Whilst the other units all provide the required level of amenity space, unit 7 the studio has no private amenity space. However the floor area is above the minimum, there is garden space on site and the proposal is opposite the open space of the Cricket Green and therefore officers consider that this would not have a negative impact on occupier amenity that justified a refusal of consent.

Floor and Amenity space provision

Apartment	Floor Area m2	London Plan GIA standard m2	Amenity space m2	London Plan Standard m2
1 3b5p	111.1	86	20.3	8
2 2b3p	68.9	61	14.9	6
3 2b3p	63.8	61	14.9	6
4 2b3p	61	61	6.5	6
5 2b3p	61.2	61	8.6	6
6 1b2p	50	50	11.2	5
7 Studio	41	39	0	5
8 2b3p	61	61	6.5	6
9 2b3p	61.2	61	8.6	6
10 1b2p	50	50	11.2	5

7.12 Neighbour Amenity.

The existing public house building is a two storey structure with rooms in the roof and given the separation distances to the nearest dwellings in Lower Green West on the opposite side of a busy through route, no direct or adverse impacts are anticipated for any existing residential occupiers with regard to overlooking or noise levels and there have been no objections on these grounds.

7.13 Traffic, Parking and Servicing.

Current central government guidance seeks to encourage use of sustainable travel modes and to reduce reliance on private car travel. The current scheme makes provision for 20 cycle parking spaces with 6 car to the side of the building and this is in line with London Plan guidelines. (The existing parking bays to the front of the building are not on land within the title of the owners of The Cricketers, neither is the land registered. Although it is understood that the pub has over many years used the area for seating and parking by patrons and tenants of the pub, this area of land cannot be considered as part of the planning process).

7.14 The Council's Transport Planning Officer had no objections to the proposal and has advised that the proposal should be subject to a standard condition to provide a Parking Management Strategy. On-street parking is controlled by double yellow line restrictions and the level of additional traffic generated by the residential units is unlikely to result in undue detriment to the existing highway conditions which already carry heavy traffic loads. Given the level of on-site parking, it is considered that the development would be unlikely to result in adverse impacts for highway safety or increased demand for on-street parking to an extent that would warrant refusal of the scheme.

7.15 The proposed level of cycle parking is satisfactory, but the design of the stores and method of securing the cycles will need to be secured by way of condition. The refuse and recycling store has been positioned away from the flats with its access facing Lower Green West. The proposal would involve changes to the existing roadway at this point to replace the now unused fire station access land with a section of pavement and a series of four roadside bays that would allow parking for servicing and delivery vehicles.

7.16 Archaeology and contaminated land.

The relevant consultees have no objection to the proposals but require the imposition of suitable conditions relating to archaeological investigation and potential land contamination.

8. SUSTAINABILITY AND ENVIRONMENTAL IMPACT ASSESSMENT REQUIREMENTS

8.1 A Written Ministerial Statement dated March 2015 and Planning Practice Guidance set out the government's approach for the setting of housing standards for new housing. There is a new system of Building Regulations (BR) with new additional optional BR on water efficiency and access and a new national space standard. The Code for Sustainable Homes and BREEAM standards cannot be applied under the new system and neither can Lifetime Homes Standards. However, Merton is permitted to enforce the mandatory minimum requirements for energy performance and water efficiency at a level equivalent to Code for Sustainable Homes Level 4 for the delivery of new residential units across the borough. A condition to that effect is recommended.

8.2 The proposal does not constitute Schedule 1 or Schedule 2 development. Accordingly, there are no requirements in terms of an Environmental Impact Assessment (EIA).

9. CONCLUSION

9.1 The principle relating to the loss of the vacant public house and the use of the site for residential purposes have previously been considered as acceptable by the Planning Inspector and the current scheme raises no fresh issues in that respect. Thus, while the DRP have expressed a view that the site is not suitable for residential use on the ground floor this position is not supported in appeal decisions by independent planning inspectors.

9.2 The proposed design of the scheme has been amended prior to submission following the comments of the previous appeal Inspectors and following further comments from officers. Consequently, and notwithstanding the views of the DRP, it is considered by officers that the proposal has now satisfactorily addressed previous reasons for refusal and that the scheme is now of a suitable scale, bulk, massing

design that allows the redevelopment of this site for good quality well serviced housing, for which there is an identified demand, with a building that can sit comfortably in this location and preserve and enhance the Mitcham Cricket Green Conservation Area in which it will be located.

- 9.3 While the DRP have expressed views to the effect that the proposals are not as good as they could be, the key test for development in conservation areas is whether a proposal would preserve or enhance the character and appearance of the area. As a matter of judgement officers consider the proposals would meet this test.

RECOMMENDATION:

Grant planning permission subject to conditions

1. A.1 Commencement of development for full application
2. A.7 Approved plans Site location plan, drawings; 00842_B_01 P02, 00842_B_02 P02, 00842_B_03 P03, 00842_B_04 P02, 00842_S_02 P02, 00842_S_03 P05 & 00842_S_04 P02,
3. B 1 Material to be approved. No construction shall take place until details of particulars and samples of the materials (including details of weathering) to be used on all external faces of the development hereby permitted, including window frames and doors (notwithstanding any materials specified in the application form and/or the approved drawings), have been submitted to the Local Planning Authority for approval. No works which are the subject of this condition shall be carried out until the details are approved, and the development shall be carried out in full accordance with the approved details.
4. B.4 Surface treatment No construction shall take place until details of the surfacing of all those parts of the site not covered by buildings or soft landscaping, including any parking, service areas or roads, footpaths, hard and soft have been submitted in writing for approval by the Local Planning Authority. No works that are the subject of this condition shall be carried out until the details are approved, and the development shall not be occupied / the use of the development hereby approved shall not commence until the details have been approved and works to which this condition relates have been carried out in accordance with the approved details.
5. B.5 Boundary treatment No development shall take place until details of all boundary walls or fences are submitted in writing for approval to the Local Planning Authority. No works which are the subject of this condition shall be carried out until the details are approved, and the development shall not be occupied / the use of the development hereby approved shall not commence until the details are approved and works to which this condition

relates have been carried out in accordance with the approved details. The walls and fencing shall be permanently retained thereafter.

6. C.6 No construction shall take place until a scheme for the storage of refuse and recycling has been submitted in writing for approval to the Local Planning Authority. No works which are the subject of this condition shall be carried out until the scheme has been approved, and the development shall not be occupied until the scheme has been approved and has been carried out in full. Those facilities and measures shall thereafter be retained for use at all times from the date of first occupation.
7. D.9 No external lighting shall be installed without the prior approval in writing of the Local Planning Authority
8. D.11 Construction times No demolition or construction work or ancillary activities such as deliveries shall take place before 8am or after 6pm Mondays - Fridays inclusive, before 8am or after 1pm on Saturdays or at any time on Sundays or Bank Holidays.
9. F.1 Landscaping/ Planting Scheme No construction shall take place until full details of a landscaping and planting scheme has been submitted to and approved in writing by the Local Planning Authority and these works shall be carried out as approved before the commencement of the use or the occupation of any building hereby approved, unless otherwise agreed in writing by the Local Planning Authority. The details shall include on a plan, full details of the size, species, spacing, quantities and location of proposed plants, together with any hard surfacing, means of enclosure, and indications of all existing trees, hedges and any other features to be retained, and measures for their protection during the course of development.
10. F.2 Landscaping (Implementation) All hard and soft landscape works shall be carried out in accordance with the details approved by condition 9. The works shall be carried out in the first available planting season following the completion of the development or prior to the occupation of any part of the development, whichever is the sooner, and any trees which die within a period of 5 years from the completion of the development, are removed or become seriously damaged or diseased or are dying, shall be replaced in the next planting season with others of same approved specification, unless the Local Planning Authority gives written consent to any variation. All hard surfacing and means of enclosure shall be completed before the development is first occupied.
11. No part of the development hereby approved shall be occupied until evidence has been submitted to the council confirming that the

development has achieved not less than the CO2 reductions (ENE1), internal water usage (WAT1) standards equivalent to Code for Sustainable Homes Level 4.

Evidence requirements are detailed in the “Schedule of Evidence Required” for Post Construction Stage from Ene1 & Wat1 of the Code for Sustainable Homes Technical Guide (2010). Evidence to demonstrate a 19% reduction compared to Part L regulations (equivalent to a 25% reduction compared to 2010 Part L regulations) and internal water usage rates of 105l/p/day must be submitted to, and acknowledged in writing by the Local Planning Authority, unless otherwise agreed in writing.

12. H.3 Redundant crossovers The development shall not be occupied until the existing redundant crossover/s have been removed by raising the kerb and reinstating the footway in accordance with the requirements of the Highway Authority.
13. H.4 Provision of Vehicle Parking The vehicle parking area (including any garages hereby approved) shown on the approved plans shall be provided before the commencement of the buildings or use hereby permitted and shall be retained for parking purposes for occupiers and users of the development and for no other purpose
14. H.7 Cycle Parking to be implemented The development hereby permitted shall not be occupied until the details of the secure cycle parking shown on the plans hereby approved has been provided, approved in writing by the Local Planning Authority and made available for use. These facilities shall be retained for the occupants of and visitors to the development at all times.
15. H.10 Construction vehicles Development shall not commence until a working method statement has been submitted to and approved in writing by the Local Planning Authority to accommodate:
 - (i) Parking of vehicles of site workers and visitors;
 - (ii) Loading and unloading of plant and materials;
 - (iii) Storage of construction plant and materials;
 - (iv) Wheel cleaning facilities
 - (v) Control of dust, smell and other effluvia;
 - (vi) Control of surface water run-off.No development shall be carried out except in full accordance with the approved method statement.
16. H.11 Parking Management Strategy Construction shall not commence until a Parking Management Strategy has been submitted in writing for approval to the Local Planning Authority. No works that is subject of this condition shall be carried out until this strategy has been approved, and the development shall not be occupied until this strategy has been

approved and the measures as approved have been implemented. Those measures shall be maintained for the duration of the use unless the prior written approval of the Local Planning Authority is obtained to any variation.

17. H. 14 Gates The doors of the garage or gates hereby approved shall not open over the adjacent highway.
18. K1 Archaeology No development [including demolition] pursuant to this consent shall take place until the implementation of a programme of archaeological work has been secured in accordance with a written scheme of investigation which has been submitted to and approved in writing by the Local Planning Authority. The archaeological works shall be carried out by a suitably qualified investigating body acceptable to the Local Planning Authority and in accordance with the approved written scheme of investigation.
19. Non standard condition An air quality assessment shall be undertaken and submitted to the Council before development commences. The assessment report, which should include dispersion modelling, shall be undertaken having regard to all relevant planning guidance, codes of practice, British Standards for the investigation of air quality and national air quality standards. The assessment report shall include recommendations and appropriate remedial measures and actions to minimise the impact of the surrounding locality on the development. A scheme of proposed remedial measures shall be submitted for the Council's approval and implemented to the satisfaction of the Council, prior to the occupation of the residential properties.
Reason: To safeguard the amenities of occupiers of the development hereby approved and ensure compliance with policy DM EP4 of the Adopted Merton Sites and Policies Plan 2014
20. Non standard condition; Due to the potential impact of the surrounding locality on the development, a noise survey undertaken by a competent person is to be undertaken having regard to all relevant planning guidance, codes of practice and British Standards for the investigation of noise. The survey shall include recommendations and appropriate remedial measures and actions to minimise the impact of the surrounding locality on the development. A scheme for sound insulation and noise control measures shall be submitted for the Council's approval and implemented to the satisfaction of the Council, prior to occupation of the residential properties.
Reason: To safeguard the amenities of the area and the occupiers of neighbouring properties and ensure compliance with policy DM EP 2 of the Adopted Merton Sites and Policies Plan 2014.
21. Non standard condition. No construction may commence until a Section 278 Highways Act agreement has been entered into with the Local Highways Authority in relation to those works outside the confines of the site on the London Road and Lower Green West elevations as shown on

drawing 00842_S_03 Rev P05. Reason; To ensure a satisfactory appearance for the development and to improve parking and servicing for this development and ensure compliance with policy DM D4 of the Adopted Merton Sites and Policies Plan 2014 and policy CS 20 of Merton's Core Planning Strategy 2011.

22. Non standard condition. The development hereby approved shall not be occupied until details relating to planting, lighting, defensible buffer zones, communal entrance security, undercroft parking area painting, refuse and cycle store locking systems, security fencing and parking demarcation for the front bays has been submitted and approved in writing by the Local Planning Authority.

Reason; to ensure a safe and secure layout for the development that takes account of crime prevention in accordance with policy DM D2 of the Adopted Merton Sites and Policies Plan 2014.

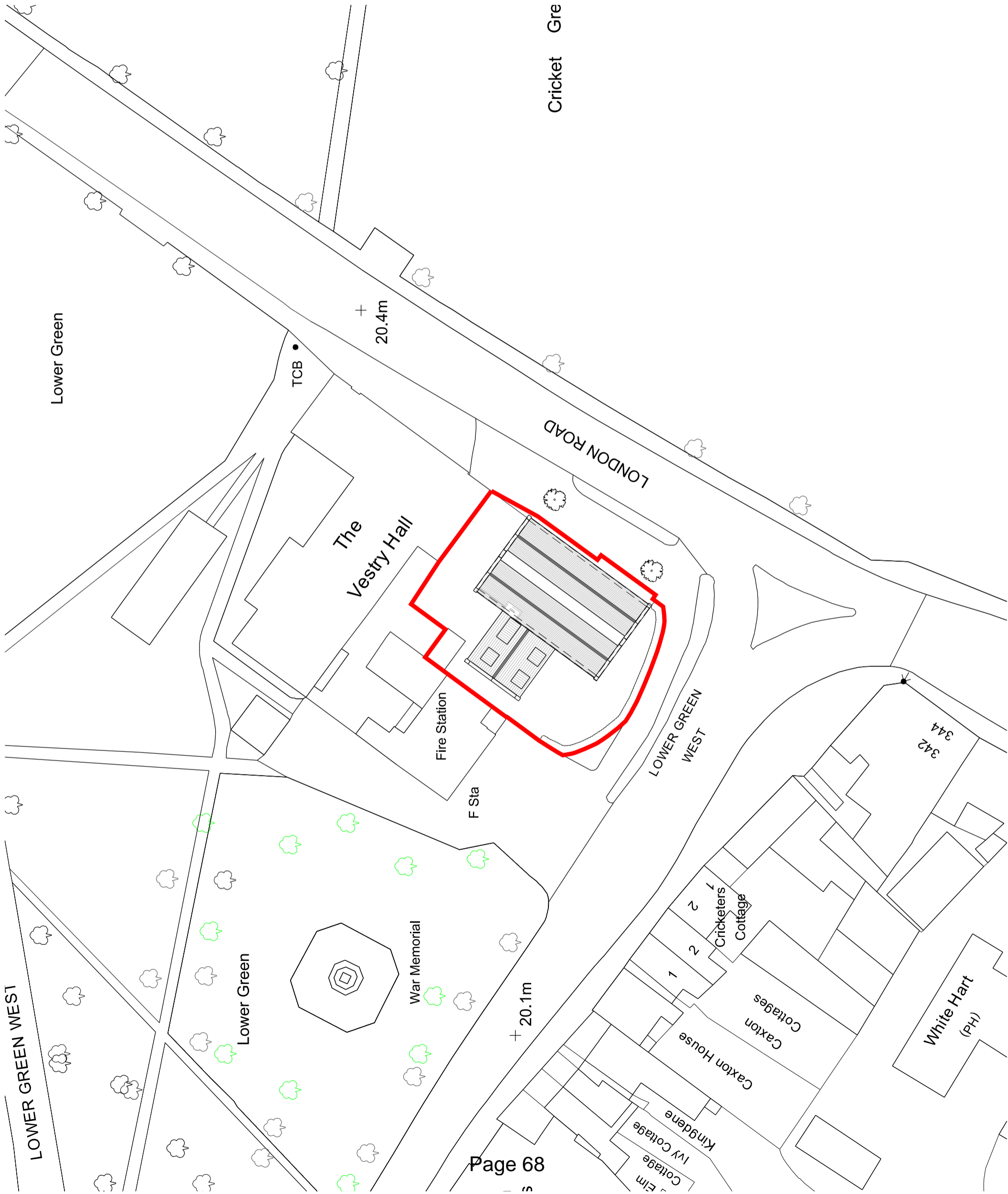
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NORTHGATE SE GIS Print Template



Text Details The Cricketers, 340 London Rd

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Key



Cricket Gre

P02 18.01.16 Revised for Planning Issue JH ABL
 P01 18.02.15 Planning Issue CD DC

Rev | Date | Description | Drawn | Chkd

Drawing Status

PLANNING

Client

AXIOM LAND

JOHN THOMPSON & PARTNERS



23-25 Great Sutton Street
 London, EC1V 0DN
 T: +44 (0)20 7017 1780
 F: +44 (0)20 7017 1781
 W: www.jtp.co.uk

Project

The Cricketers, Merton

Drawing Title

Area Plan - Proposed

Scale @ A3 1:500

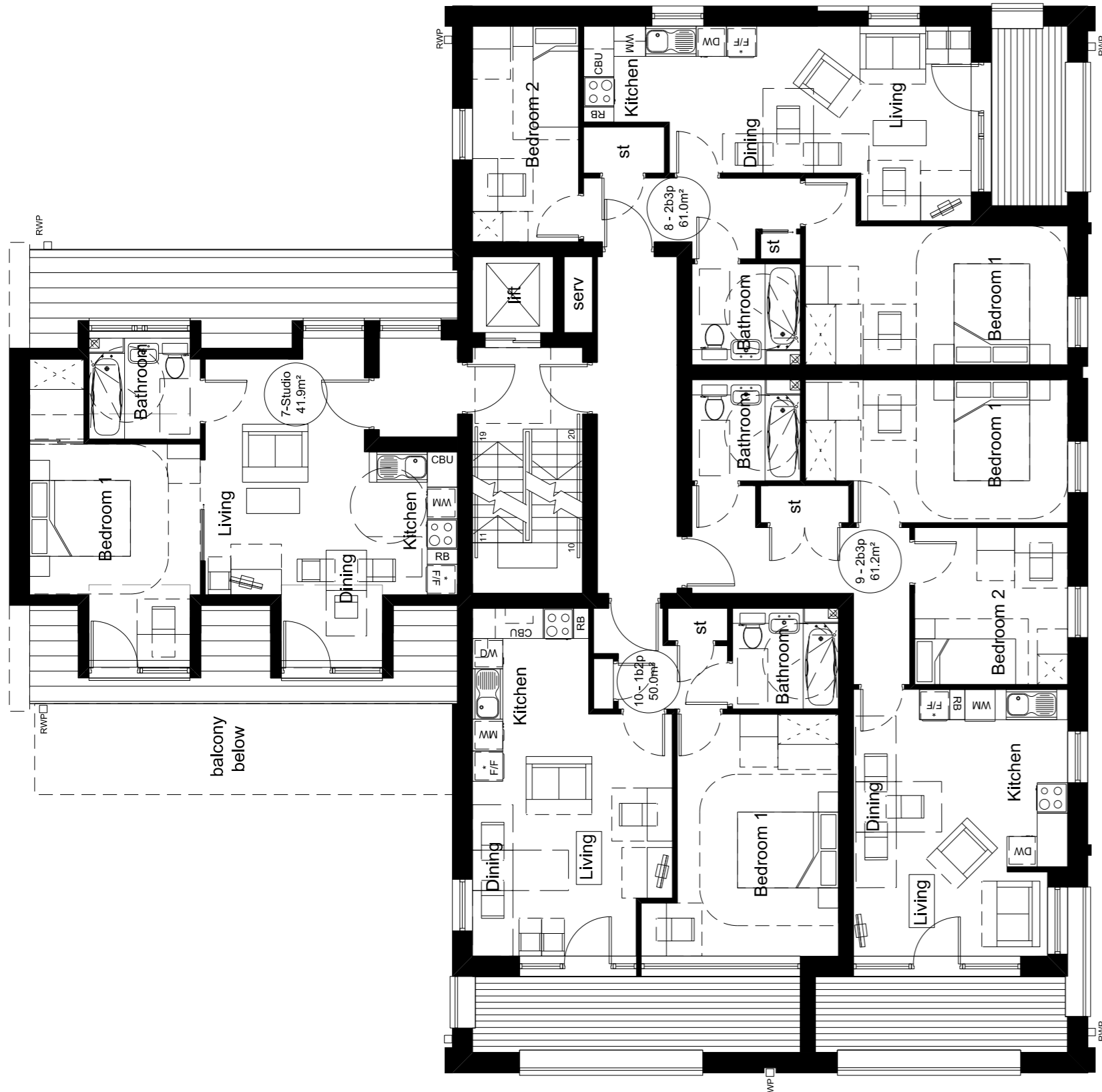
Job Ref. 00842

Drawing No. 00842_S_02

Revision P02



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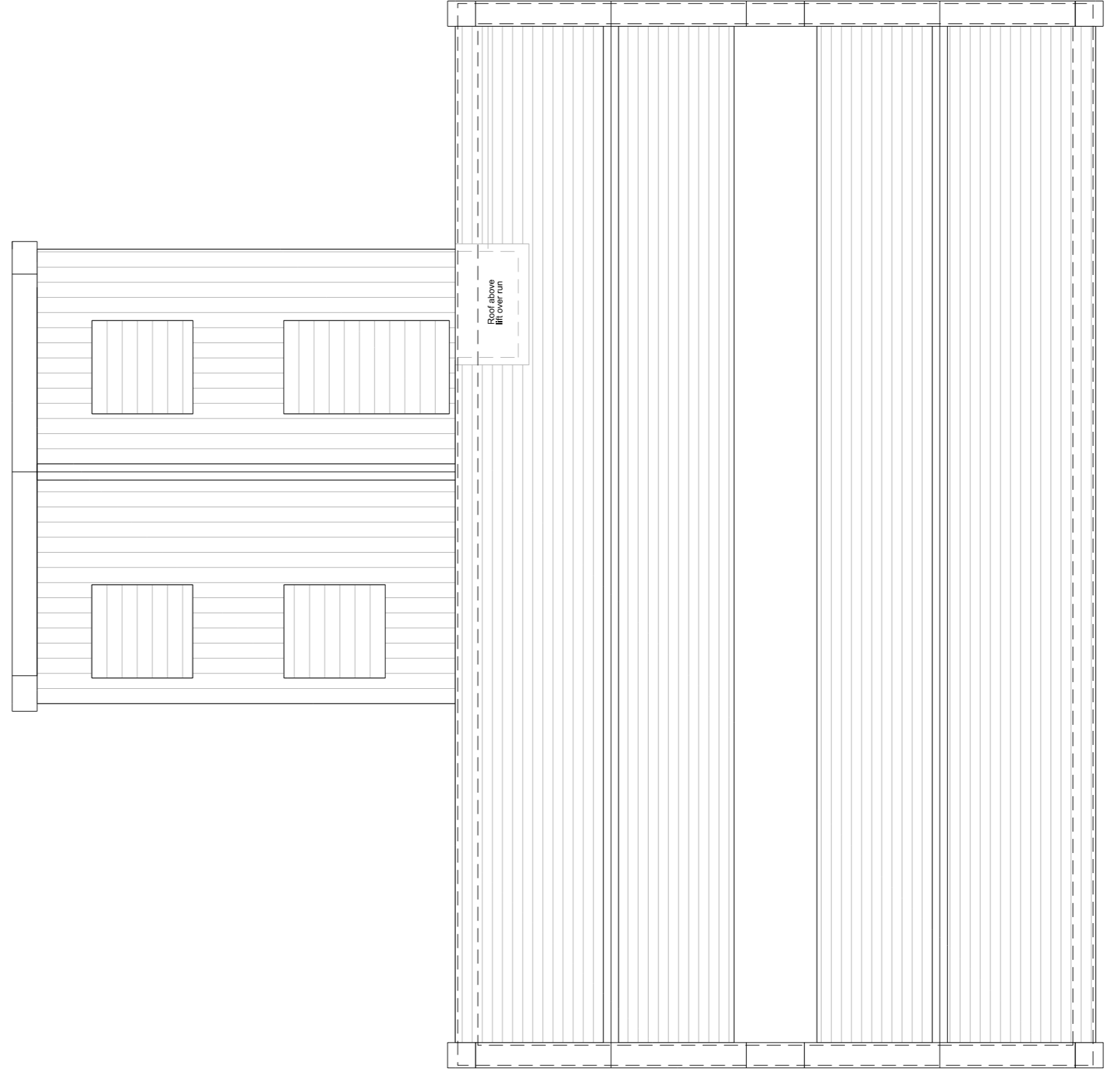
Second Floor Plan

GEA 319.5m²
 GA 262.2m²

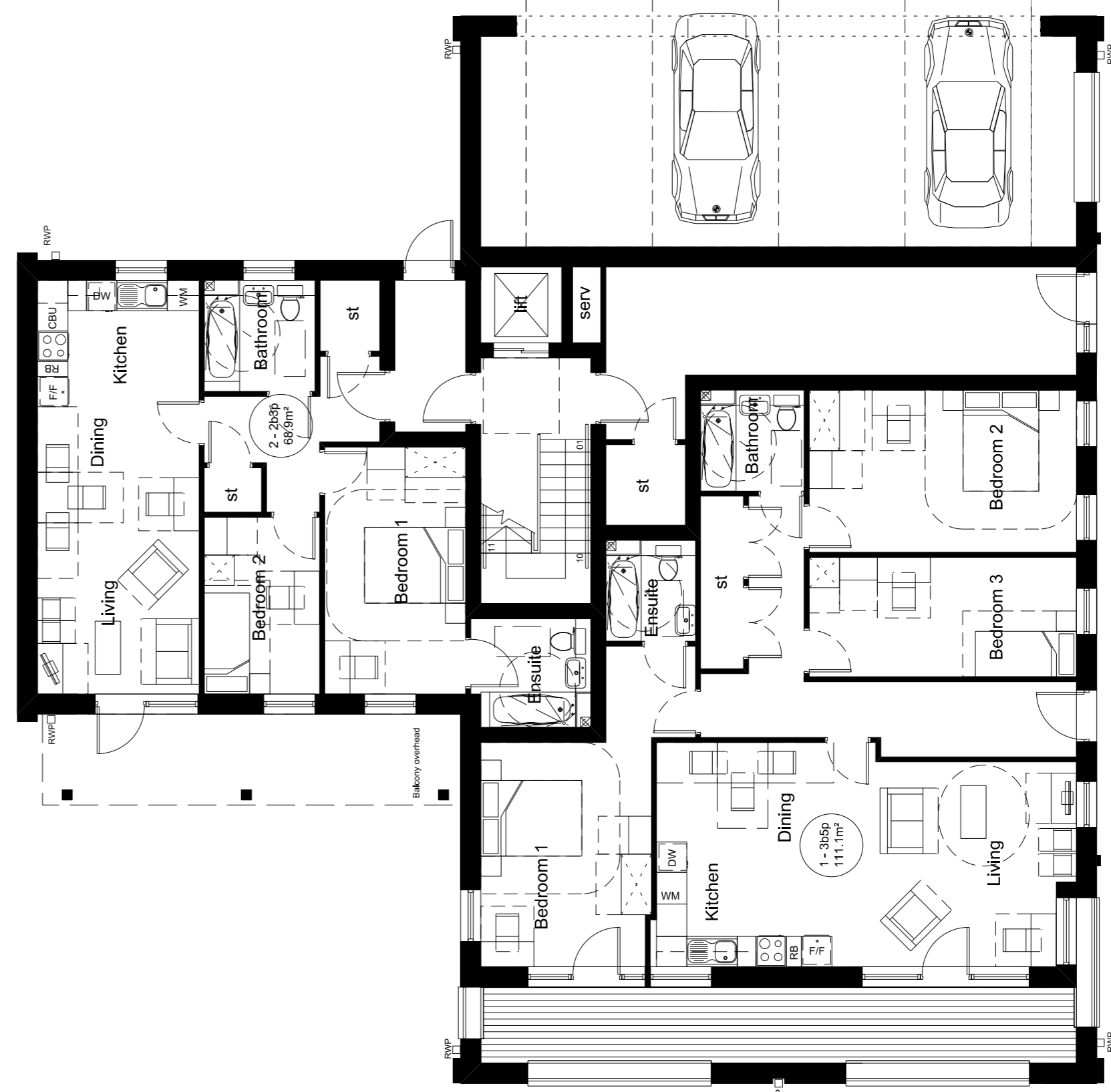


First Floor Plan

GEA 300.0m²
 GA 249.0m²



Roof Plan



Ground Floor Plan

GEA 345.1m²
 GA 234.6m²

P02 18.01.16 Revised plan layout
 P01 09.07.15 Planning Issue

JH ABL
 ABL

Drawn | Chkd

PLANNING

Client

AXIOM LAND

JOHN THOMPSON & PARTNERS

 23-25 Great Sutton Street
 London, EC3V 0DN
 T: +44 (0)20 7017 1780
 F: +44 (0)20 7017 1781
 W: www.jtp.co.uk

Project
The Cricketers, Merton

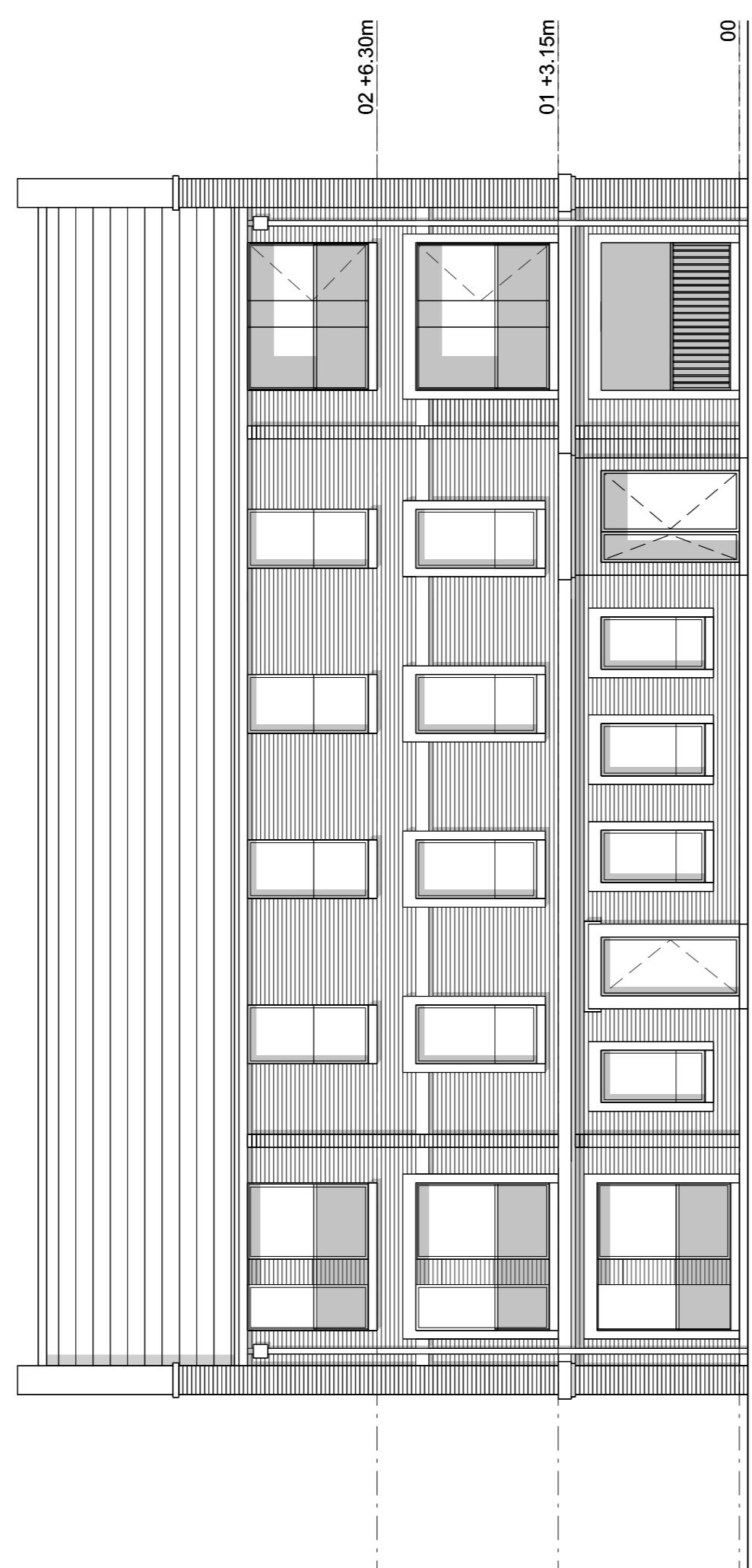
Drawing Title
Floor and Roof plan

Scale @ A1 : 1:100
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 Revision P02
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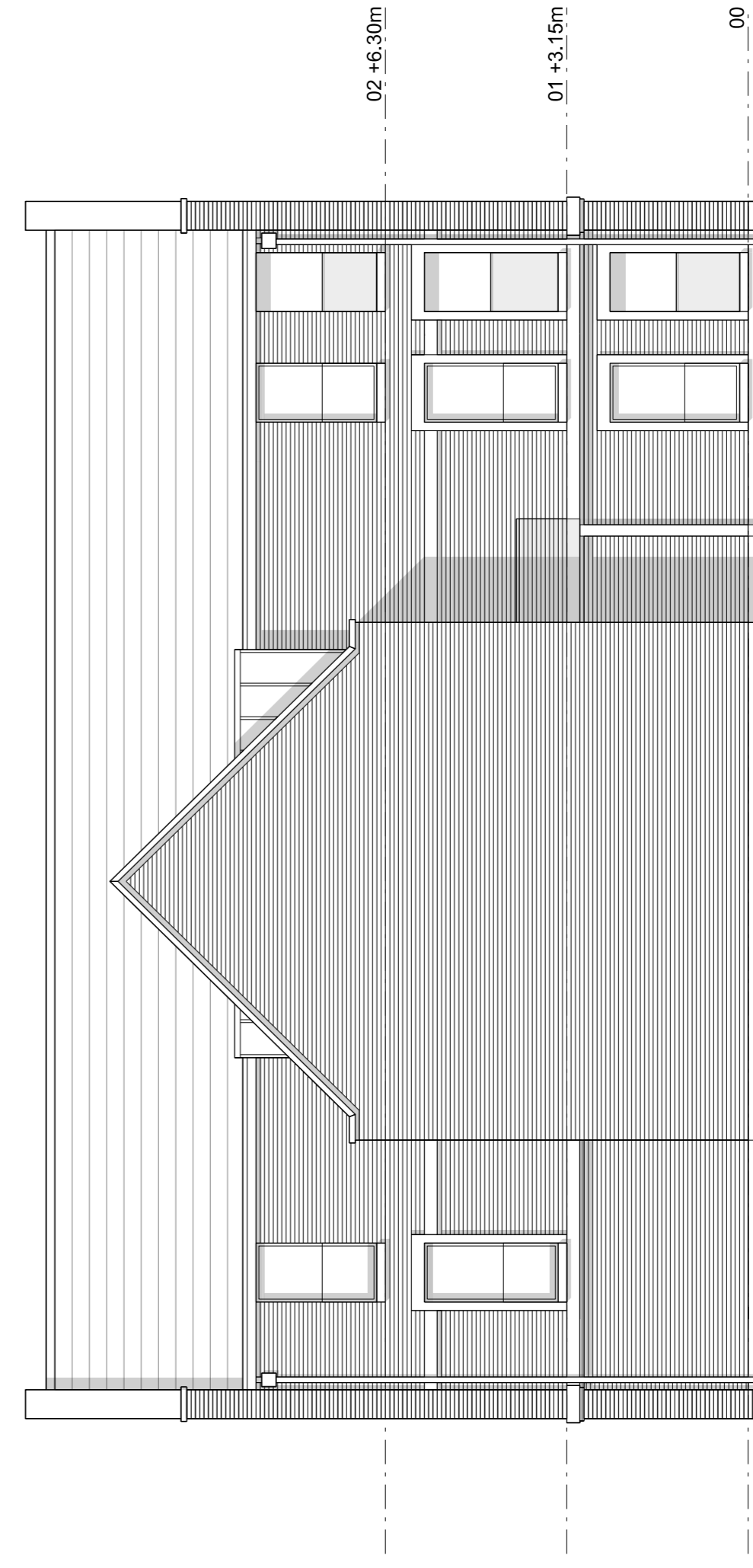
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② South West Elevation



① South East Elevation



④ North West Elevation



③ North East Elevation

P02 18.01.18 Revised Elevations for Planning Issue KN / JOP/ JH ABL CD DC
 P01 17.02.15 Planning Issue

Rev | Date | Description | Drawn | Chkd

Drawing Status
PLANNING
 Client
AXIOM LAND

JOHN THOMPSON & PARTNERS

 23-25 Great Station Street
 London, EC3V 0DN
 T: +44 (0)20 7017 1780
 F: +44 (0)20 7017 1781
 W: www.jtp.co.uk

Project
The Cricketers, Merton

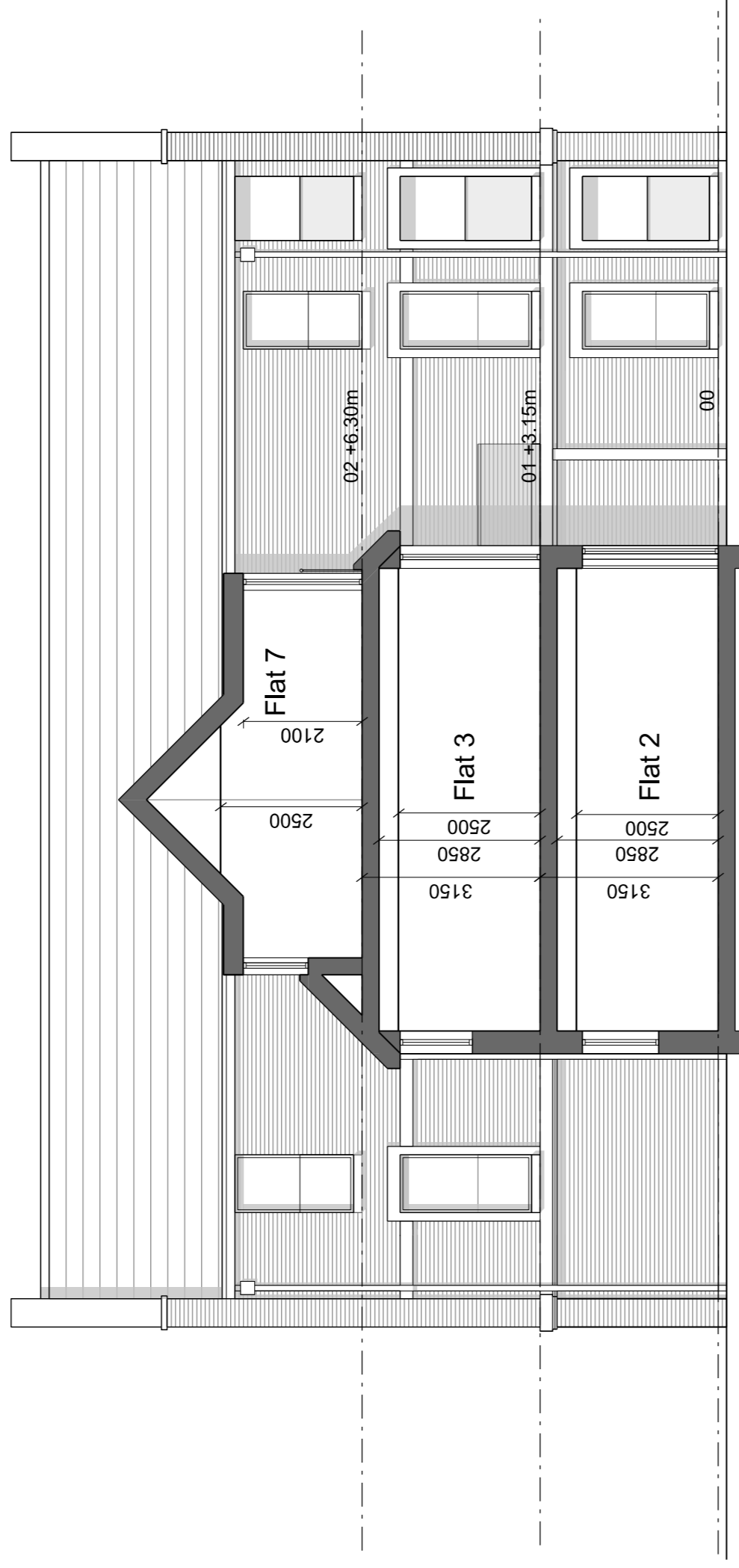
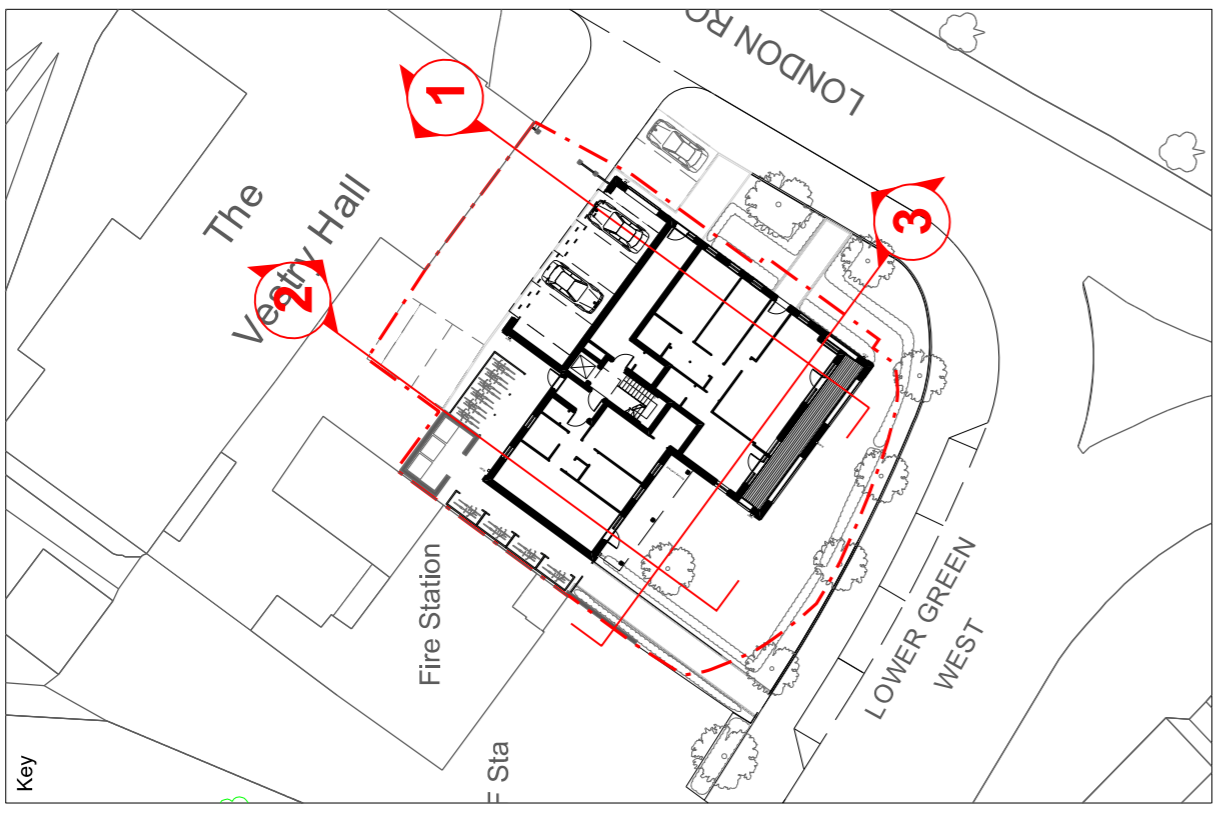
Drawing Title
Elevations

Scale @ A1 1:100 Job Ref. 00842
 Drawing No. 00842_B_02 Revision P02

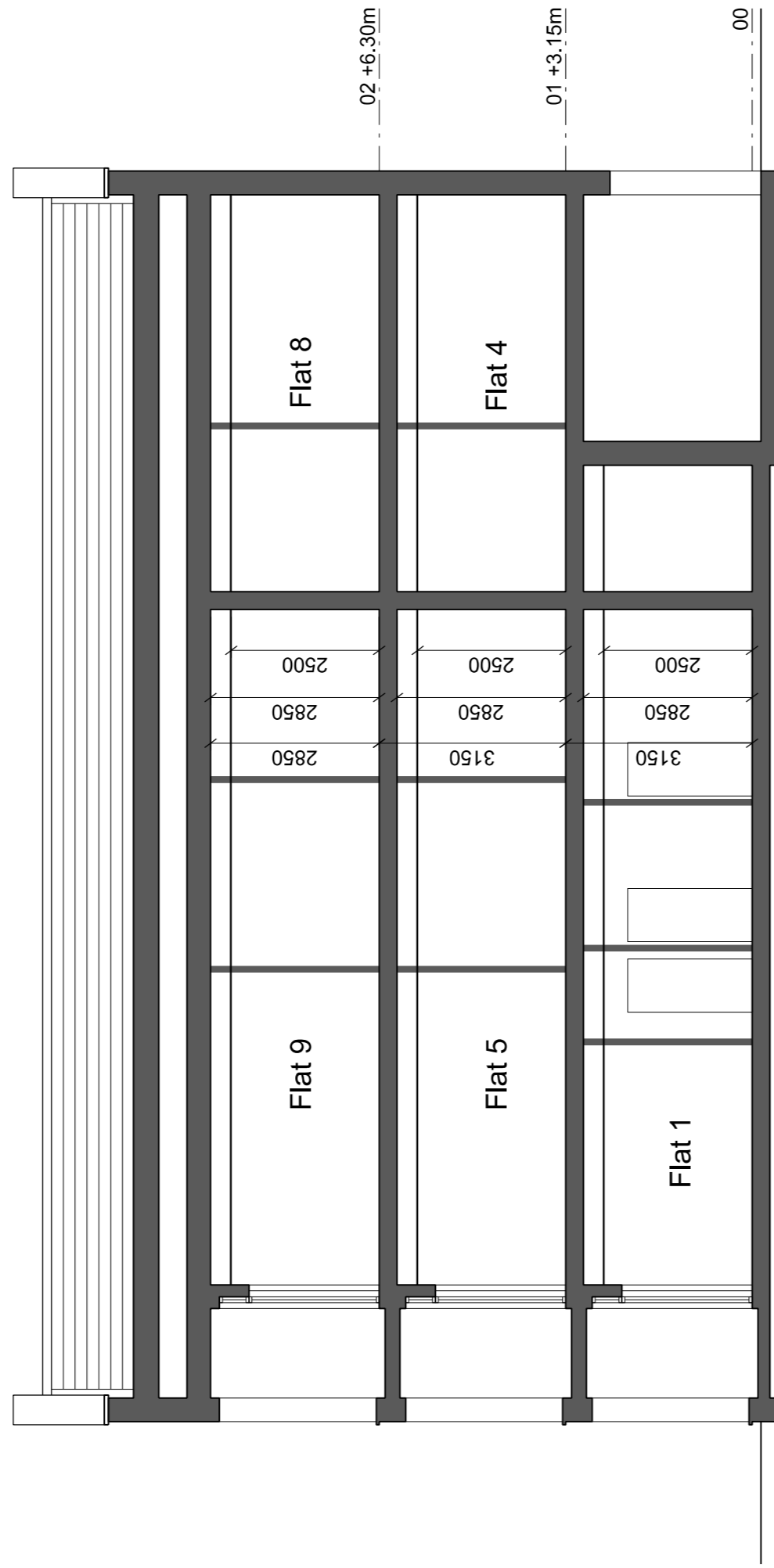
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Section 2



Section 1



Section 3

P03 18.04.15 Revised sections for Planning Issue
 P02 18.04.15 Section 4 through flat 2 and 3
 P01 17.02.15 Planning Issue

Rev / Date / Description / Drawn / Chkd

Drawing Status
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 Client
AXIOM LAND

JOHN THOMPSON & PARTNERS

 23-25 Great Sutton Street
 London, EC3V 0DN
 T: +44 (0)20 7017 1780
 F: +44 (0)20 7017 1781
 W: www.jtp.co.uk

Project
The Cricketers, Merton

Drawing Title
Sections

Scale @ A1 : 1:100 Job Ref. 00842
 Drawing No. 00842_B_03 Revision P03
 Scale Bar
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Lower Green West Elevation 1:100



Site Plan 1:200



London Road Elevation 1:100

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Rev	Date	Description	Drawn	Chkd
P02	18.01.16	Revised issue for planning	JH	ABL
P01	07.01.15	First Issue	LD	DC

Drawing Status
PLANNING

Client
AXIOM LAND

JOHN THOMPSON & PARTNERS

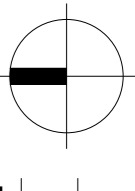


23-25 Great Station Street
London, EC1V 0DN
T: +44 (0)20 7017 1780
F: +44 (0)20 7017 1781
W: www.jtp.co.uk

Project
The Cricketers, Merton

Drawing Title
Site Plan & Street Elevations

Scale @ A1 1:100/1:200 Job Ref. 00842
Drawing No. 00842_S_04 Revision P02
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PLANNING APPLICATIONS COMMITTEE

23rd May 2016

UPRN	APPLICATION NO.	DATE VALID
	15/P3197	14.08.2015
Address/Site	68-70 Meopham Road, Mitcham, CR4 1BJ	
(Ward)	Longthornton	
Proposal:	Demolition of existing buildings and redevelopment of the site to provide 14 x town houses.	
Drawing No's	Site location plan and drawings; 1669 6. 1E, 1669 9 1D, 1669 9 2D, 1669 9 3D, 1669 6 2E, 1669 6 7F, 1669 6 8D, 1669 6 0F & 1669 17, Ecological Report dated Jan 13 th 2016, Arboricultural Impact Assessment & Method Statement dated 15 th October 2015	
Contact Officer:	Leigh Harrington (020 8545 3836)	

RECOMMENDATION:

GRANT PLANNING PERMISSION SUBJECT TO A SECTION 106 AGREEMENT AND CONDITIONS.

CHECKLIST INFORMATION.

- S106 Heads of agreement: Yes
 - Is a screening opinion required: No
 - Is an Environmental Statement required: No
 - Has an Environmental Impact Assessment been submitted – No
 - Design Review Panel consulted – No
 - Number of neighbours consulted – 113
 - Press notice – Yes (Major)
 - Site notice – Yes
 - External consultations: Two
 - Number of jobs created – n/a
 - Density 66 units per ha
-

1. Introduction.

1.1 The matter is brought before Members to seek approval to enter a s106 agreement for an off-site contribution towards affordable housing.

2. SITE DESCRIPTION.

- 2.1 The rectangular shaped proposal site covering 0.21 hectares is located on the south west side of Meopham Road close to the junction of Woodstock Way. Streatham Park Cemetery is located to the side and rear of the site.
- 2.2 There are two detached properties at the front of the site separated by a 7 metre wide shared private drive providing vehicle access from Meopham Road to the rear of the site. The property at 70 Meopham Road provides two floors of accommodation with a pitched roof. The second property at 68 Meopham Road provides accommodation at ground floor level and within the building roof space. The large area of land to the rear of the two buildings provides garden space and includes a number of ancillary residential outbuildings.
- 2.3 The local area includes a mixture of different building designs. These buildings include the adjacent three storey detached building at 72-88 Meopham Road which is of a contemporary design and provides sheltered residential accommodation in the form of 8 flats. To the north west of the site are the rear gardens of residential properties in Woodstock Way, these buildings in Woodstock Way and the property at 58-60 Meopham Road are of a simple design and each provide two maisonettes. On the opposite side of Meopham Road are two storey terraced houses mainly consisting of a first floor bay window and a pitched roof over a ground floor front addition.
- 2.4 The area is not at risk from flooding, an Archaeological Priority Area or a Conservation Area: and it has Public Transport Accessibility level of 2 which is low.
- 2.5 The site is relatively open as the established buildings are to the front of the site and benefits from a number of trees on the site which have been surveyed and categorised as part of the Arboricultural assessment of the application.

3. PROPOSAL

- 3.1 The application was originally submitted for the demolition of the existing buildings and the redevelopment of the site to provide 12 x town houses and 3 x flats. Following protracted discussion with officers and in response to neighbour concerns the proposals have been revised to provide 14 x townhouses and no flats and the layout of the road has been reversed. These amendments have also been the subject of a further re-consultation exercise.
- 3.2 Access to the site will now be to the south with an access roadway and footpath separating a terrace of five houses facing Meopham Road from the flats on the southern boundary. The northernmost of these houses adjacent to 58-60 Meopham Road will now be a two storey house, the others being three storeys.

3.3 The access road would then serve another terrace of five three storey townhouses which face the access road and now have back gardens abutting the rear gardens of the houses in Woodstock Way.

3.4 The access road and parking bays will separate this terrace from the terrace of four town houses located by the back boundary of the site with their rear gardens facing the cemetery.

3.5 Accommodation schedule (NB There is no Unit 6)

Unit	GIA	LP Standard	Garden Area Minimum size	Garden standard
1 3B 4P (2F)	84sqm	84	45	50
2-5 2B 3P (3F)	83sqm	83	42	50
7-9 2B 4P (3F)	102	92	50	50
10-11 2B 4P (3F) + Bay	102	92	47.5	50
12-15 3B 5P (3F)	102	99	50	50

4. **CONSULTATION**

4.1 A site notice was posted and letters sent to 113 neighbouring residents. 5 objections were received raising concerns relating to;

- Pressure on parking
- Subsidence
- Loss of privacy
- Noise and disturbance
- Increased anti-social behaviour
- Pressure on local services from increased numbers of residents
- Loss of biodiversity
- Loss of historically interesting buildings
- Scale, bulk and massing inappropriate
- Loss of light and visual intrusion
- Smells from the bin store
- Not correct mix of properties
- Impact on vehicle crossing
- Needs a construction management plan
- There are covenants on developing the land
- No mention of the wells on site
- Issues of not having a designated footpath
- Cemetery should not be considered public open land
- Will impact on privacy of people visiting the cemetery

- 4.2 The revised scheme was re-consulted upon to which the only response was a set of comments stating that the revisions were an improvement but there were still issues relating to;
- Loss of light compared to the existing situation as rear of the house by 60 Meopham protrudes beyond the rear elevation.
 - Impact of excavations on neighbouring houses
 - Flat roof adjacent to 60 could be an amenity space and needs a condition to prevent it.
 - The French doors could cause more overlooking
 - Needs a construction management plan
 - Details of materials and fenestration to be approved
 - Tree protection schemes are needed
 - PD rights should be removed given proximity to neighbours
- 4.3 The Longthornton Redevelopment Working Party responded to this consultation raising concerns relating to;
- Density is such that neighbours would be close to the development
 - Can drains and sewers cope
 - Restricted access to the site for emergency vehicles
 - Virtual footpath may be dangerous
 - Overlooking the cemetery has impact on privacy of mourners
- 4.4 Transport Planning. The proposals have undertaken a number of revision to address points of concern such that no objections are now raised to the proposals subject to the imposition of suitable conditions.
- 4.5 Trees Officer. No objections subject to conditions being imposed in relation to tree protection and site supervision including a 'no-dig' construction method for the root protection areas.
- 4.6 Future Merton - Open Space policy officer. Initial concerns relating to some inadequacies in the bio diversity mitigation measures. As a result further details were submitted in January and found to be acceptable.
- 4.7 Environmental Health. No objection to the proposals but requested a condition be imposed relating to external lighting and an informative in the event unexpected contamination was found on site.
- 4.8 Flood Risk engineer. No objection to the scheme. A Sustainable Urban Drainage Scheme should be provided for the site to be secured by means of a condition.
- 4.9 Structural engineer. (consulted in light of comments from neighbours regarding subsistence and soil slip). A full borehole investigation report with recommendations for the allowable bearing capacity to be used in the design of foundations from a chartered geotechnical engineer would be required for compliance with Building Regulations whilst a

condition dealing with demolition and construction method statements is recommended.

4.10 The Metropolitan Police Safer by Design officer.

There should be sufficient space for both pedestrian and vehicular access

- Efforts should be made to protect the flank walls against graffiti and vandalism
- The cycling parking and storage should incorporate ground anchors or stands secured into concrete foundations
- Shrubs and trees should be of a height not to interfere with natural surveillance
- Alleys leading to the rear of properties should be gated for security.

4.11 The Environment Agency. No objections

5. PLANNING HISTORY.

5.1 Proposal site

15/P1177 Application for the demolition of the existing 2 two bedroom detached houses at 68 and 70 Meopham Road and the construction of three residential terraces providing a total of 20 residential units (19 two bedroom houses and 1 one bedroom flat) with a part two, part three storey terrace fronting Meopham Road with under croft vehicle access to the rear of the site, a four storey terrace including a semi basement running parallel with Woodstock Way, a four storey terrace including a semi basement at the rear of the site and provision of 31 off street car parking spaces and parking for 20 cycles. Withdrawn by applicant.

5.2 Site at 72-88 Meopham Road

Planning permission was approved in March 2009 [LBM reference 08/P2830] for the demolition of the existing building and erection of a part 2 / part 3 storey building to provide 8 one bedroom self-contained flats for persons with learning disabilities with ancillary accommodation together with associated car and cycle parking and landscaping.

6. RELEVANT POLICIES

6.1 London Plan (2015)

Relevant policies include:

- 3.3 Increasing housing supply
- 3.5 Quality and design of housing developments
- 3.11 Affordable housing targets.
- 3.16 Protection of social infrastructure.
- 5.1 Climate change mitigation
- 5.2 Minimising carbon dioxide emissions
- 5.3 Sustainable design and construction

- 5.7 Renewable energy
 - 5.10 Urban greening
 - 5.11 Green roofs and development site environs.
 - 5.13 Sustainable drainage
 - 6.3 Assessing effects of development on transport capacity
 - 6.9 Cycling
 - 6.10 Walking
 - 6.11 Smoothing traffic flow and tackling congestion
 - 6.12 Road network capacity
 - 6.13 Parking
 - 7.2 An inclusive environment
 - 7.3 Designing out crime
 - 7.4 Local character
 - 7.5 Public realm
 - 7.6 Architecture
 - 7.14 Improving air quality
 - 7.15 Reducing noise and enhancing soundscapes
 - 8.2 Planning obligations
- 6.2 London Housing Supplementary Planning Guidance 2012.
- 6.3 Merton Local Development Framework Core Strategy (2011)
 Relevant policies include:
 CS 2 Mitcham Sub-Area
 CS 8 Housing choice.
 CS 13 Open space and leisure
 CS 14 Design
 CS 15 Climate Change
 CS 18 Transport
 CS 19 Public transport
 CS 20 Parking servicing and delivery
- 6.4 Merton Sites and Policies Plan (2014)
 Relevant policies include:
 DM D1 Urban Design and the public realm
 DM D2 Design considerations
 DM EP4 Pollutants
 DM O1 Open space
 DM O2 Trees, hedges and landscape features
 DM T1 Support for sustainable travel and active travel
 DM T2 Transport impacts from development
 DM T3 Car parking and servicing standards
 DM T5 Access to the road network.
- 6.5 Merton SPDs
 Planning Obligations (2006),
 Design (2004).

7. PLANNING CONSIDERATIONS.

- 7.1 The key issues for consideration include establishing the principle of this development that will involve the loss of the two existing family houses; the design and appearance of the proposed buildings, the potential impact on the adjacent open space, the standard of the residential accommodation, the potential impact on residential amenity and on car parking and traffic generation.

Provision of housing.

- 7.2 Policy 3.3 of the London Plan 2015 states that development plan policies should seek to identify new sources of land for residential development including intensification of housing provision through development at higher densities and that the Council will work with housing providers to provide a minimum of 4,107 additional homes [411 new dwellings annually] between 2015 and 2025. Merton LDF Core Strategy policies CS8 & CS9 also seek to encourage proposals for well-designed and located new housing that will create socially mixed and sustainable neighbourhoods through physical regeneration and effective use of space. This proposal will provide 14 new units of family accommodation and is therefore considered to accord with these policies. Consequently the use of the site for residential purposes is supported.

Affordable housing

- 7.3 LDF Core Planning Strategy policy CS.8 seeks the provision of a mix of housing types including affordable housing. The Council seeks on site provision of affordable housing for schemes with 10 or units and London Plan policy 3.12 accords with that but does state that there is the possibility to provide an off-site contribution in exceptional circumstances where it can be demonstrated robustly that this is not appropriate. The applicant originally submitted a viability report that stated the proposal could not sustain an affordable housing contribution. This was independently assessed by a third party assessor who stated that the development could be viable and following further discussions with the assessor and the Council's Housing Needs manager it was considered that the applicant's proposal to allocate three of the three bedroom units on site for affordable housing was reasonable. However to date it has not proved attractive to find a Registered Provider willing to take on just three houses on this site. Consequently it was determined that a contribution of £261,500 towards the provision of off-site housing may be a satisfactory alternative that still met the overall goal of providing additional affordable housing within the borough.

Housing mix

- 7.4 Policy CS. 8 within the Council's Adopted Core Strategy [July 2011] states that the Council will seek the provision of a mix of housing types sizes and tenures at a local level to meet the needs of all sectors of the

community. This includes the provision of family sized and smaller housing units.

7.5 The application site is located in an area which provides a mixture of housing with maisonettes provided in Woodstock Way, flats at 72-88 Meopham Road and 123-128 Meopham Road and family housing on the opposite side of Meopham Road. The current revised proposal no longer includes the flats and now provides 14 houses; 4 three bedroom houses and 10 two bedroom houses.

7.6 It is considered that the proposed accommodation will increase the variety of residential accommodation available locally. It is considered that the current proposal will contribute towards the creation of a socially mixed and sustainable neighbourhood in accordance with Core Strategy policy CS8.

Layout, scale and design

7.7 Policy 7.4 of the London Plan requires buildings, streets and open spaces to provide a high quality design response that has regard to the pattern and grain of the existing spaces and streets in terms of orientation, scale, proportion and mass. Policy 7.6 sets out a number of key objectives for the design of new buildings including that they should be of the highest architectural quality, they should be of a proportion, composition, scale and orientation that enhances, activates and appropriately defines the public realm, and buildings should have details that complement, but not necessarily replicate the local architectural character. Policy CS14 of the adopted Core Strategy states that all development needs to be designed to respect, reinforce and enhance local character and contribute to Merton's sense of place and identity. This will be achieved in various ways including by promoting high quality design and providing functional spaces and buildings.

7.9 The articulation of the buildings fronting Meopham Road shown on the revised plans is welcomed, with the height, which has been reduced from the four storeys originally submitted at pre application stage, reflecting the adjacent maisonettes to the north and the flats to the south and the width of the houses is also comparable to the plot widths of nearby buildings in a similar way to the design of the adjacent building at 72 - 88 Meopham Road.

7.10 The layout of the site originally proposed meant that an access road would lead along the back gardens of the houses in Woodstock Way. This was considered inappropriate and to cause unnecessary noise and disturbance from traffic and so the road layout was flipped around to impact the fewest number of local residents. The layout has been further amended and improved through removing flats from the scheme thereby reducing the proximity of a third storey of development on the northern boundary and replacing them with a smaller two storey house and it also allowed for the removal of a poorly sited communal refuse

store, elements that all initially resulted in objections but have now been addressed.

- 7.11 Although each of the three terraces are different in terms of layout and internal configuration the design overall retains a similarity of design and material choices to create a sense of coherence for the development.
- 7.12 Following comments from the Police Safer by Design Officer it is recommended that various Safer by Design Principles be incorporated into the proposals particularly in respect of the exposed gable ends of the buildings and the alleyway to the rear of the houses facing Meopham Road. Consequently a condition that addresses issues of graffiti and crime prevention effect is recommended to ensure as far as possible that the development is safe, secure and attractive place to live.

Neighbour Amenity.

- 7.13 The application has been assessed against adopted planning policies in particular London Plan policy 7.6 and SPP policy DM D2 in terms of possible impacts such as loss of light, privacy and visual intrusion on neighbour amenity.
- 7.14 The site layout has been amended to reflect neighbour and officer concerns at the potential impact on neighbour amenity. In terms of visual intrusion and loss of light the block of flats that would have been close to the occupiers of 58-60 Meopham Road has been replaced with a two storey house which has the upper level virtually in line with that neighbour and a larger floor area at ground level. The other two terraces are largely separated from the boundaries of the site by either gardens or the access road. In order to ensure good levels of privacy the relevant windows are either in excess of the Council's standards for separation distances or have had the windows angled so that they look further away than they would otherwise.
- 7.15 Concerns raised as a result of consultation regarding the impact of building on this site due to the nature of the land with its wells and other features are matters that would be dealt with under the applicant's submission under the Building Regulations.

Standard of accommodation.

- 7.16 Sites and Policies Plan policy DM D2 seeks to ensure good quality residential accommodation with adequate levels of privacy, daylight and sunlight for existing and future residents, the provision of adequate amenity space and the avoidance of noise, vibration or other forms of pollution.
- 7.17 The same policy also sets a requirement for 50 sqm of private amenity space per house in a single usable plot and the application demonstrates that each house would provide at least this amount of

space. However as the development does not greatly exceed the minimum standard for external amenity space a condition removing permitted development rights for extensions is also recommended. This will ensure adequate garden space is not only provided but retained.

- 7.18 The Gross Internal Areas of the houses are required to comply with the minimum standards required by policy 3.5 of the 2015 London Plan. The London Housing Supplementary Planning Guidance 2012 establishes minimum room size standards and the minimum Gross Internal Area that a new property should achieve in order to provide a satisfactory standard of occupier amenity. Annex 4 of the London Housing Supplementary Planning Guidance 2012 sets out the minimum requires GIA which all the units exceed. Modest shortfalls below the Council's adopted standards for gardens are not considered to be a basis to withhold permission.

Parking, servicing and deliveries.

- 7.19 Core Strategy Policy CS 20 considers matters of pedestrian movement, safety, servicing and loading facilities for local businesses and manoeuvring for emergency vehicles as well as refuse storage and collection. The revised layout will provide a dedicated parking space for each house as well as 5 visitor spaces. The Council's Transport planning officer has no objection to the scheme subject to conditions relating to EV charging, and road surfacing treatment to ensure pedestrian safety.

Refuse and recycling

- 7.20 The refuse and recycling facilities will take the form of bin stores located alongside the access road. As no specific details have been provided it is recommended that a condition be attached requiring details to be approved.

Trees and Biodiversity

- 7.21 Core strategy policy CS 13 expects development proposals to incorporate and maintain appropriate elements of open space and landscape features such as trees which make a positive contribution to the wider network of open spaces whilst SPP policy DM 02 seeks to protect trees that have a significant amenity value as perceived from the public realm. The desire to retain as many high quality trees has been an important factor in the design of the proposals. The proposals involve the retention of all Category A and B trees, which are of the highest standard of tree. The proposal will involve the removal of 9 lower standard category C trees, the majority of which are situated at the rear of the site along with two category U trees which are deemed to be in very poor condition. To mitigate the loss two heavy standard replacement trees, a Blue Atlas Cedar and a Purple Beech are proposed. The revised proposal has placed the roadway closer to the existing trees on the southern side of the site which require protection during and after the construction process. The Council's Arboricultural officer was satisfied with the proposed tree works and tree protection

schemes as shown in the Arboricultural Impact Assessment and conditions to that effect are recommended.

- 7.22 Given the open nature of the site and its proximity to the open spaces of the adjacent cemetery the Council's open spaces policy officer was involved in discussions with the applicant's agents to ensure that the biodiversity of the site was not harmed by the development. Following the submission of further information from the applicant's ecological advisor, (Ecologic January 13th 2016) the officer is satisfied that these matters (hedge planting, wildlife friendly fencing and bird and bat roosting boxes) will be adequately addressed subject to a condition requiring those elements be implemented.

Sustainable design and construction.

- 7.23 New buildings must comply with the Mayor's and Merton's objectives on carbon emissions, renewable energy, sustainable design and construction, green roofs, flood risk management and sustainable drainage. To that end Officers would seek confirmation that the development would achieve not less than the CO2 reductions (ENE1) and internal water usage (WAT1) standards equivalent to Code for Sustainable Homes level 4. Evidence requirements are detailed in the schedule of evidence required for the post construction stage from Ene1 & Wat1 of the Code for Sustainable Homes Technical Guide. Evidence to demonstrate a 25% reduction compared to 2010 part L regulations and internal water usage rates of 105 litres/person/day would also need to be demonstrated. Conditions to this effect are recommended.

8. SUSTAINABILITY AND ENVIRONMENTAL IMPACT ASSESSMENT REQUIREMENTS

- 8.1 The proposal does not constitute Schedule 1 or Schedule 2 development. Accordingly, there are no requirements in terms of an Environmental Impact Assessment (EIA).

9. CONCLUSION

- 9.1 The proposed development will provide fourteen new family houses on a large site currently only occupied by two houses. The scheme has been designed to exceed the minimum standards in terms of internal and external space as well as parking provision. The design and materials are modern but the area has an eclectic range of styles of housing whilst the scale, bulk and massing are considered appropriate and in keeping with the local area and not to present harm to the amenity of neighbouring residents. Subject to the imposition of suitable conditions the proposals are recommended for approval.

RECOMMENDATION

Grant planning permission subject to planning conditions and the completion of a S106 agreement covering the following heads of terms:

- 1) Affordable housing contribution of £261,500;
- 2) The applicant agreeing to meet the Council's costs of preparing drafting and monitoring the section 106 obligations.

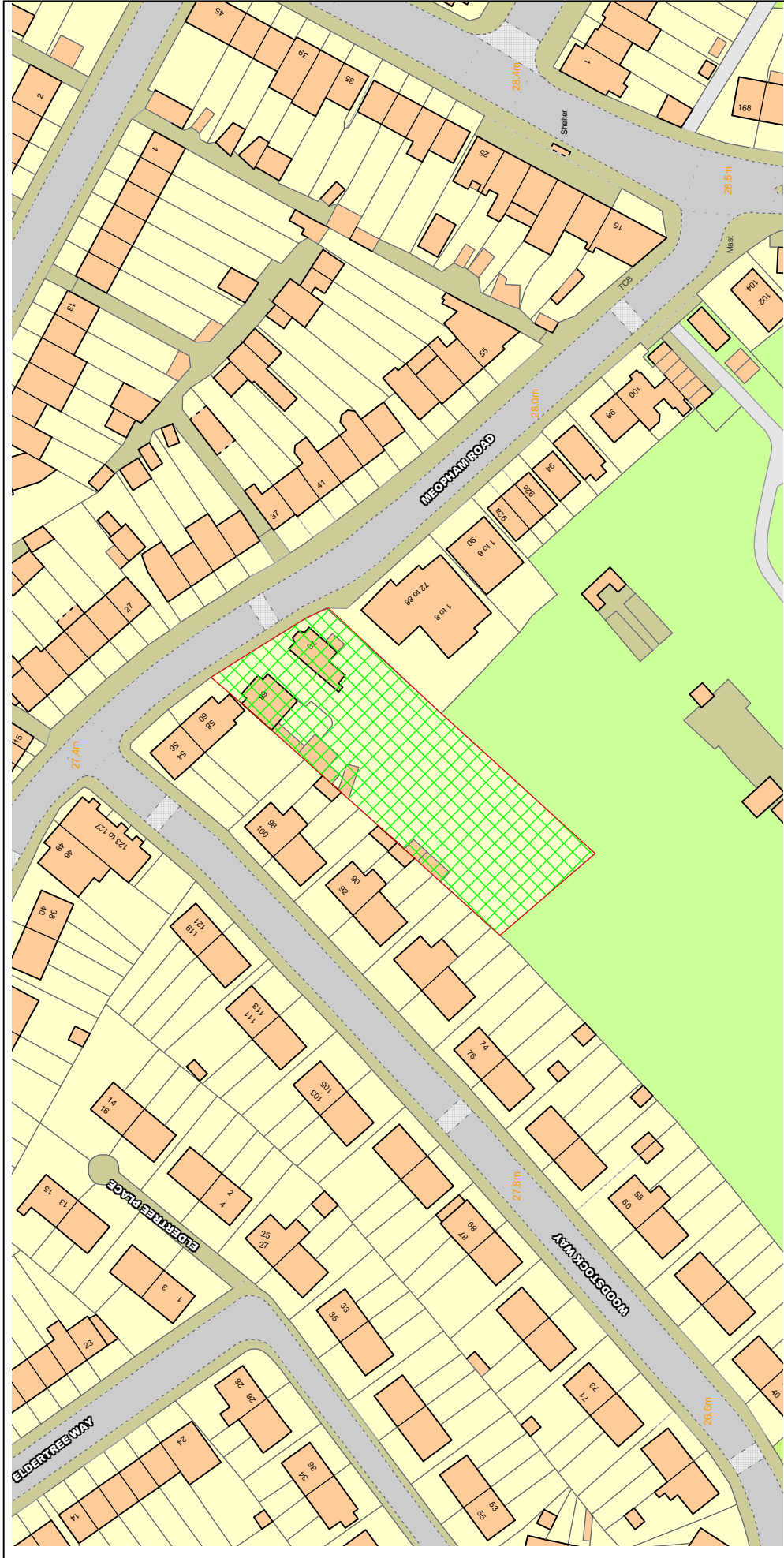
Conditions

1. A1 commencement of works
2. A7 Build to plans; Site location plan and drawings; 1669 6. 1E, 1669 9 1D, 1669 9 2D, 1669 9 3D, 1669 6 2E, 1669 6 7F, 1669 6 8D, 1669 6 0F & 1669 17, Ecological Report dated Jan 13th 2016, Arboricultural Impact Assessment & Method Statement dated 15th October 2015
3. B1 The materials to be approved.
4. B.4 Site and surface treatment.
5. B5 Details of boundary walls and fences.
6. C1 No permitted development for extensions
7. C8 No use of flat roofs
8. D10 Amended Any external lighting shall be positioned and angled to prevent any light spillage or glare beyond the site boundary and shall comply with BS 5489:2013
8. D11 Construction times.
9. F1 Landscaping details.
10. F2 Landscape implementation
11. The details and measures for the protection of the existing retained trees, including the no-dig method of construction within the root protection area of the retained trees as contained in the approved document 'Arboricultural Impact Assessment & Method Statement' dated 15th October 2015 shall be fully complied with. The approved methods for the protection of trees shall follow the sequence of events as detailed in the document and as shown on the Tree Protection Plan numbered 'P2428.2.002' including the provision of a protective wooden box around the street tree marked T2 and shall be retained and maintained until the completion of all site operations. Reason to protect and safeguard the existing retained trees in accordance with the following Development plan policies for Merton; policy 7.21 of the London plan 2015, policy CS 13 of Merton's Core Planning Strategy 2011 and policies DM D2 and DM O2 of Merton's Sites and Policies Plan 2014.
12. F9 Hardstandings

13. H1 Details of new vehicle access
14. H2 Vehicle access provision
15. H4 Provision of parking spaces.
16. H5 Visibility splays Prior to the occupation of the development 2metre x 2 metre pedestrian visibility splays shall be provided either side of the vehicular access to the site. Any objects within the visibility splays shall not exceed a height of 0.6 metres.
17. H10 Construction Vehicles, Washdown Facilities, etc (major sites)
18. H13 Construction logistics plan
19. Non Standard Condition (Sustainability) No part of the development hereby approved shall be occupied until evidence has been submitted to the Local Planning Authority demonstrating that the development has achieved not less than the CO2 reductions (ENE1) (a 25% reduction compared to 2010 part L regulations), and internal water usage (WAT1) (105 litres/p/day) standards equivalent to Code for Sustainable Homes level 4. Reason for condition: To ensure the development achieves a high standard of sustainability and makes efficient use of resources and to comply with policies 5.2 of the Adopted London Plan 2015 and CS 15 of the Merton Core Planning Strategy 2011.
20. Prior to first occupation of the development hereby approved the applicant shall have entered into and completed an agreement under s278 of the Highways Act with the Highways Authority to secure the installation of the new vehicle crossover at the location shown on the site plan 16696.0F and those works shall have been completed. Reason. To ensure the safe and efficient operation of the public highway in accordance with policies CS 20 of the Core Strategy 2011 and DM T2 of the Adopted Merton Sites and Policies Plan 2014.
21. H3 Redundant crossovers.
22. Prior to the occupation of the development hereby approved details of methods for protecting the gable end walls from graffiti and vandalism and methods for gating the access to the rear of gardens on the Meopham Road elevation in accordance with Safer by Design Principles shall be submitted and approved in writing by the Local Planning Authority. Reason to ensure a safe and secure layout for the development that takes account of crime prevention and to comply with policy DM D2 of the Adopted Merton Sites and Policies Plan 2014

23. Sustainable Urban Drainage H.18.
24. Prior to the occupation of the development hereby approved the ecological recommendations relating to the new hedgerow, wildlife fencing and roosting boxes detailed in the Ecological Mitigation & Enhancement Plan compiled by Ecologic Consultant Ecologists LLP dated 13th January 2016 shall be implemented in accordance with that report and maintained thereafter. Reason. To protect the ecology of the open space in accordance with policy CS 13 of the Merton Core Strategy 2011 and policy DM O2 of the adopted Sites and Policies Plan 2014
25. Demolition method statement. Reason; To ensure that neighbourhood amenity and safety is not harmed at any stage by the development proposal in accordance with policies DM D2 and DM EP 4 of the adopted Merton Sites and Policies Plan 2014.
26. Prior to the commencement of above ground construction works, details of proposed on-site electric charging points shall be submitted to and approved in writing by the Local Planning Authority. Reason; to ensure the adequate provision of electric charging points and to provide a safe on-site road layout in accordance with policies 6.13 of the London Plan 2015 and CS 20 of the Merton Core Strategy 2011.

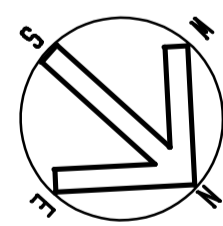
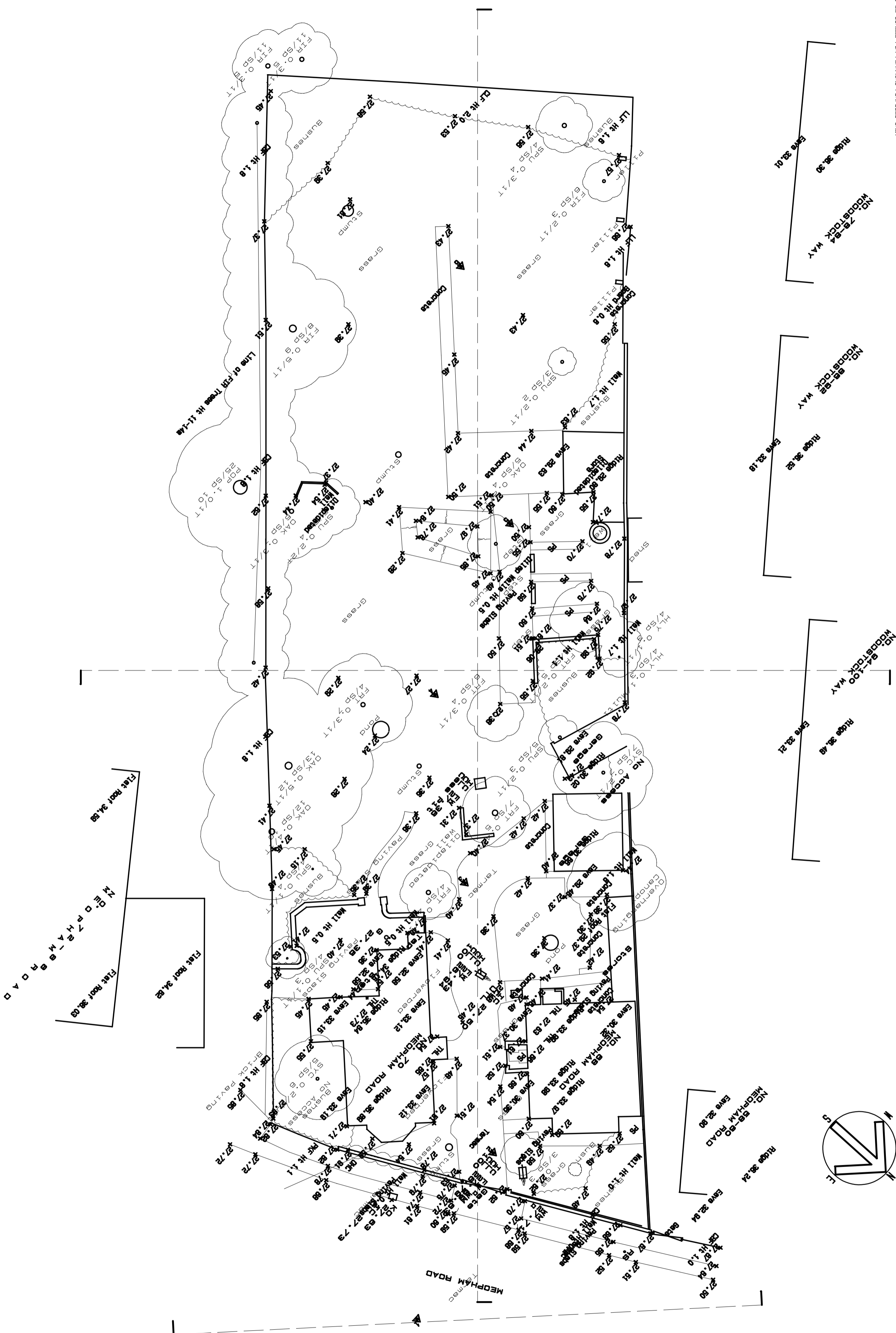
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Text Details 68-70 Meopham Road

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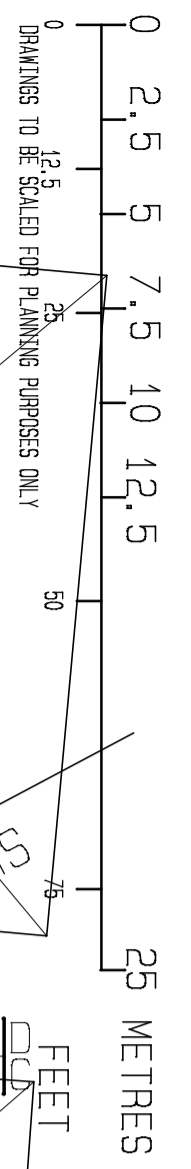
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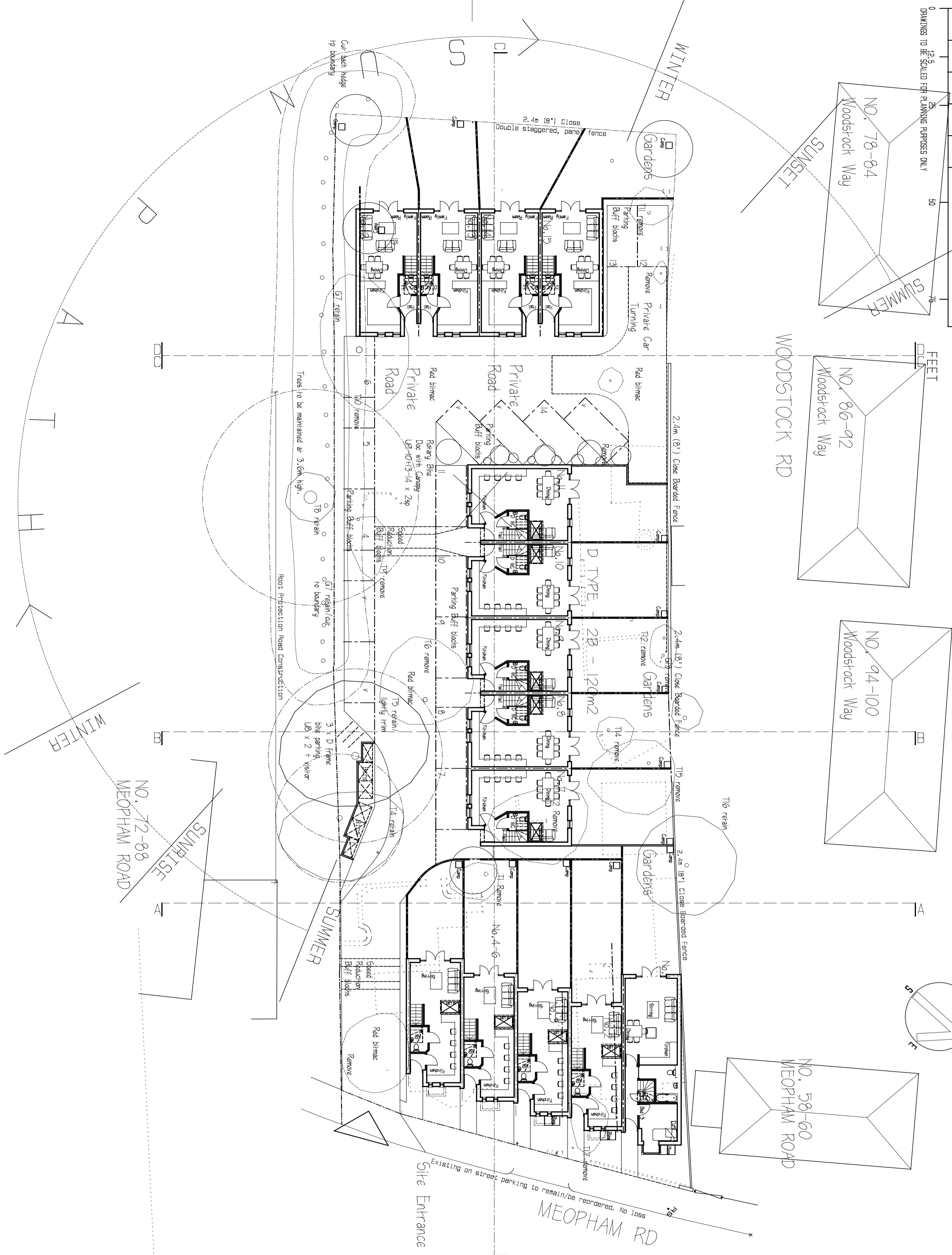
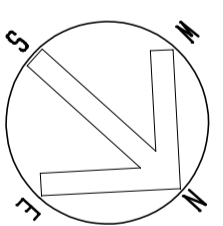
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 AUTHOR: DCB

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Tree Root Protection Area



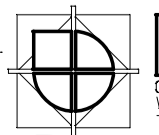
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PROJECT
70 MEOPHAM RD, MITCHAM
 DRAWING TITLE
FEASIBILITY SITE GROUND FLOOR PLAN

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 AUTHOR **DCB**

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NO. 37
 MEOPHAM ROAD
 NO. 29-35

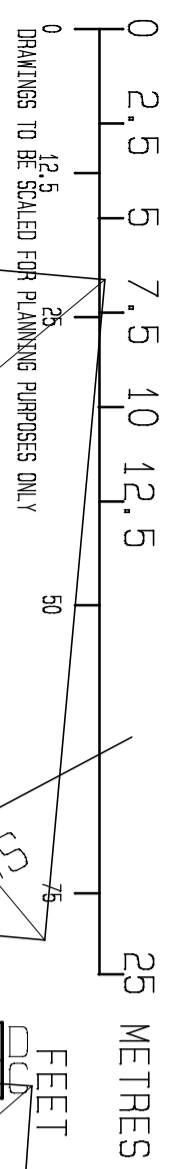
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 MEOPHAM ROAD

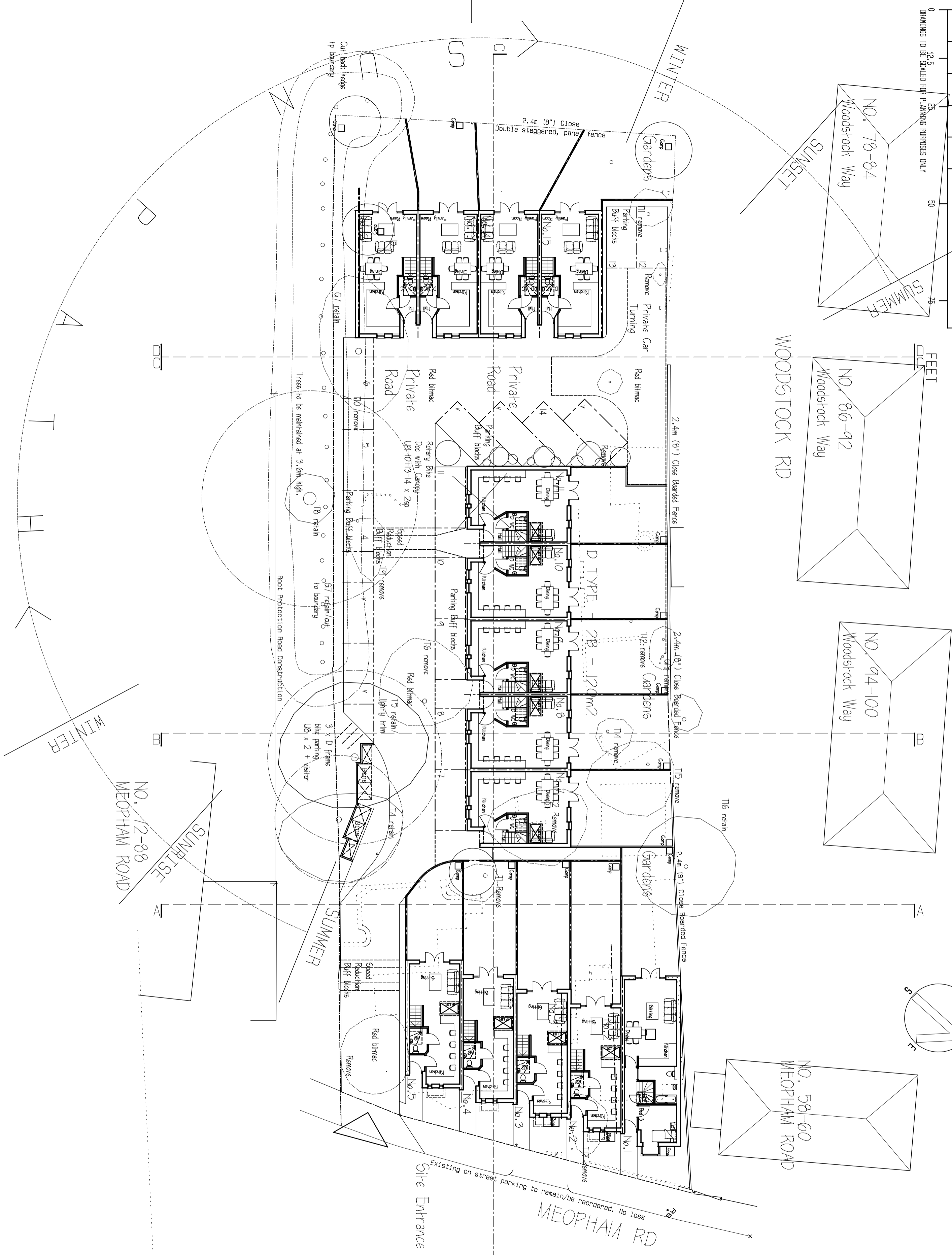
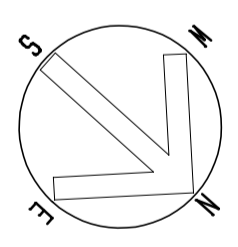
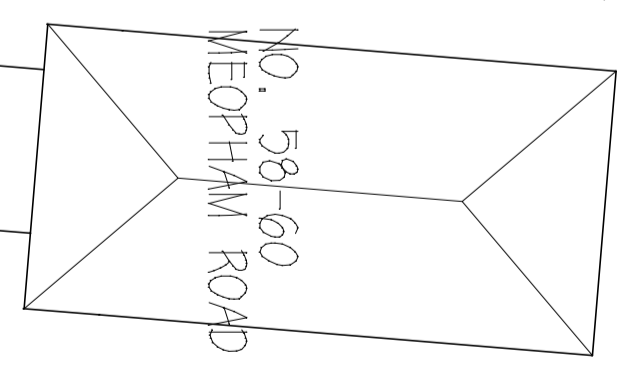
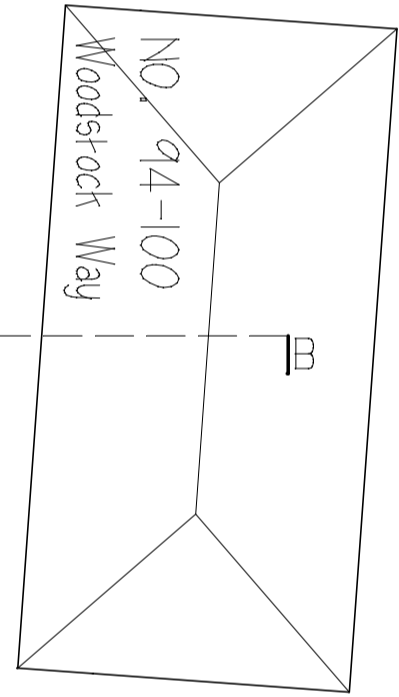
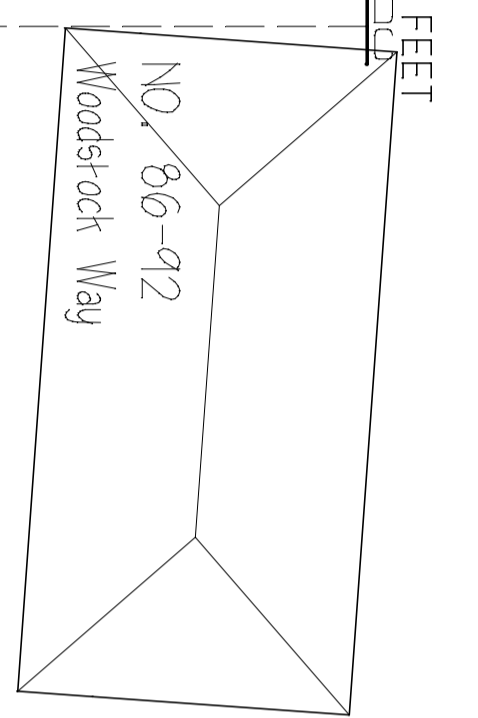
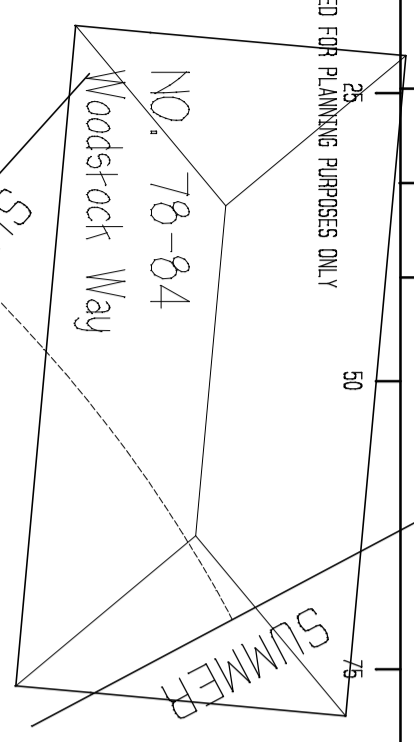
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 Woodstock Way

NO. 86-92
 Woodstock Way

NO. 78-84
 Woodstock Way



Tree Root Protection Area



NO. 37
MEOPHAM
ROAD

NO. 29-35

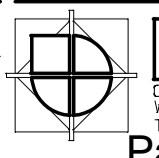
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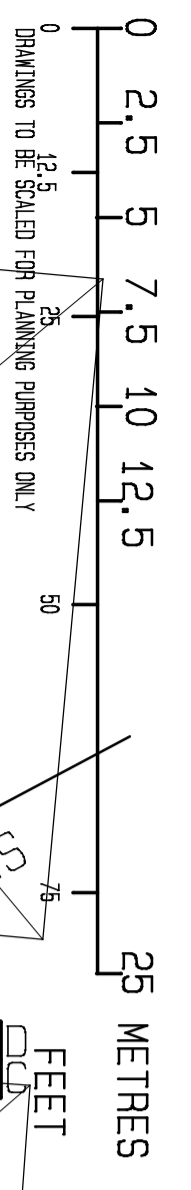
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AUTHOR **DCB**

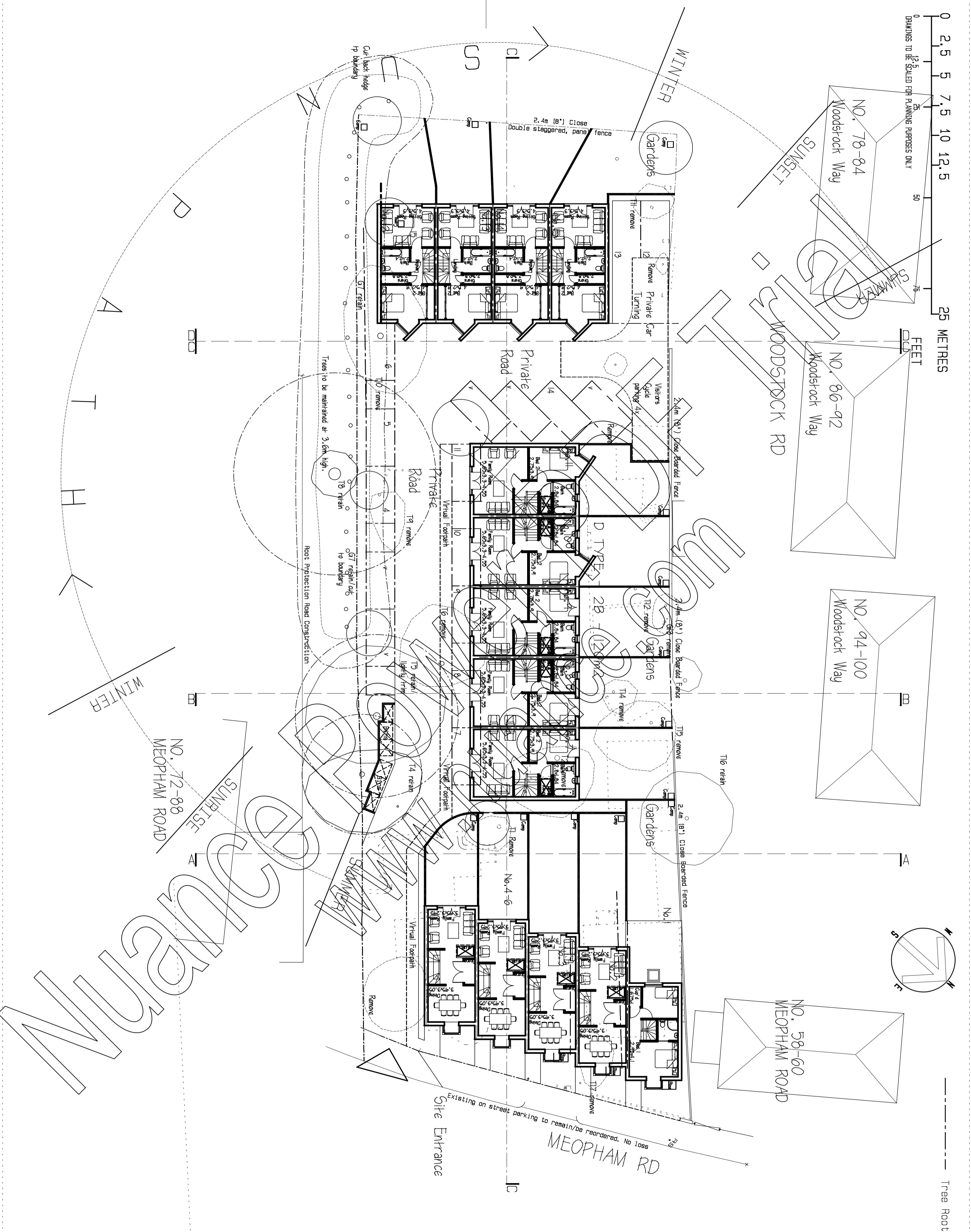
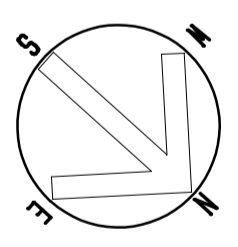
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CHARTERED ARCHITECTS + INTERIOR DESIGNERS
WATERSIDE STUDIO, THE RETREAT DRIVE, TOPSHAM EX3 0LS
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Fax: 01992 879436



Tree Root Protection Area



NO. 37
MEOPHAM
ROAD

NO.
29-35

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70 MEOPHAM RD, MITCHAM
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FEASIBILITY
SITE FIRST FLOOR PLAN

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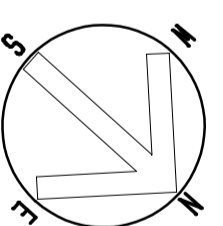
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0 2.5 5 7.5 10 12.5 25 METRES

FEET

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Tree Root Protection Area

NO. 78-84
Woodstock Way

NO. 86-92
Woodstock Way

NO. 94-100
Woodstock Way

NO. 58-60
MEOPHAM ROAD

NO. 72-88
MEOPHAM ROAD

NO. 37
MEOPHAM ROAD

NO. 29-35

MEOPHAM RD

WINTER

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WINTER

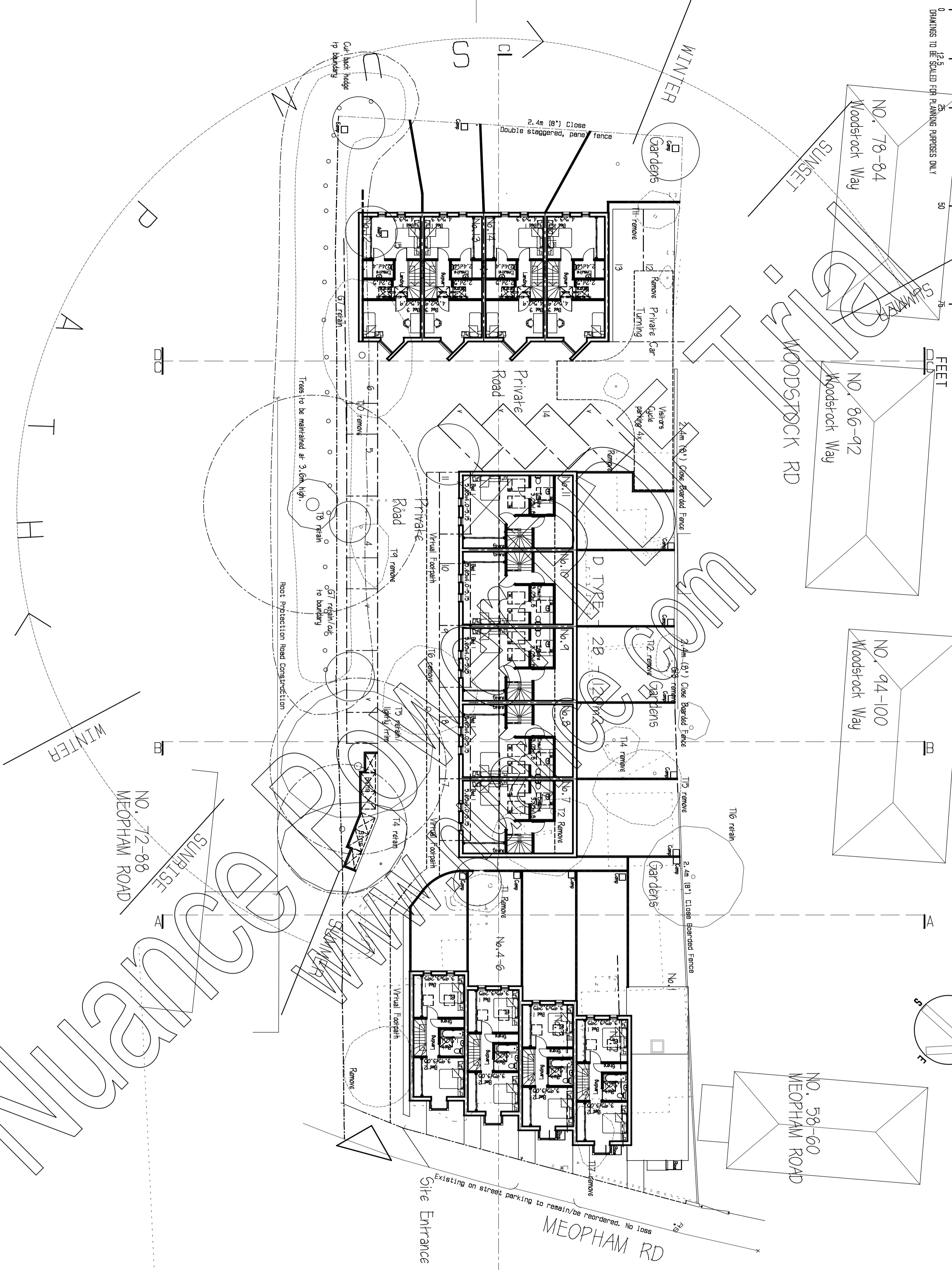
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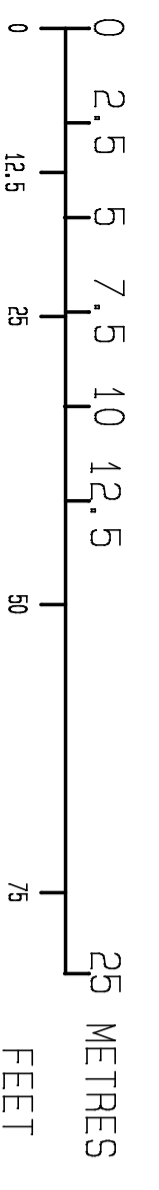
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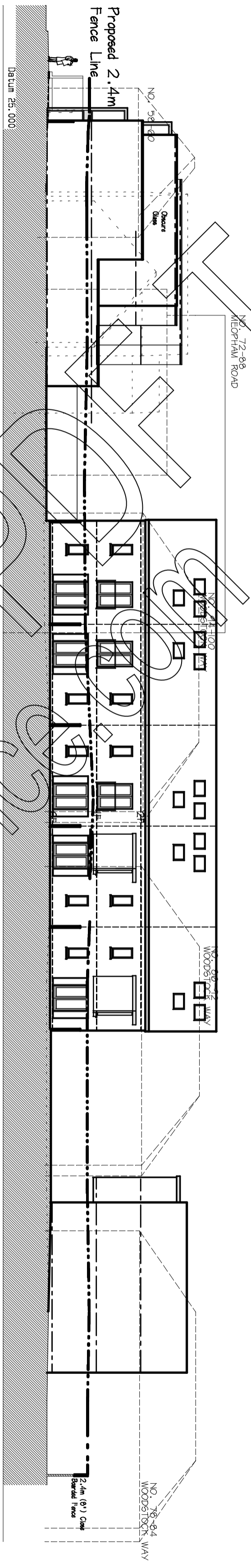




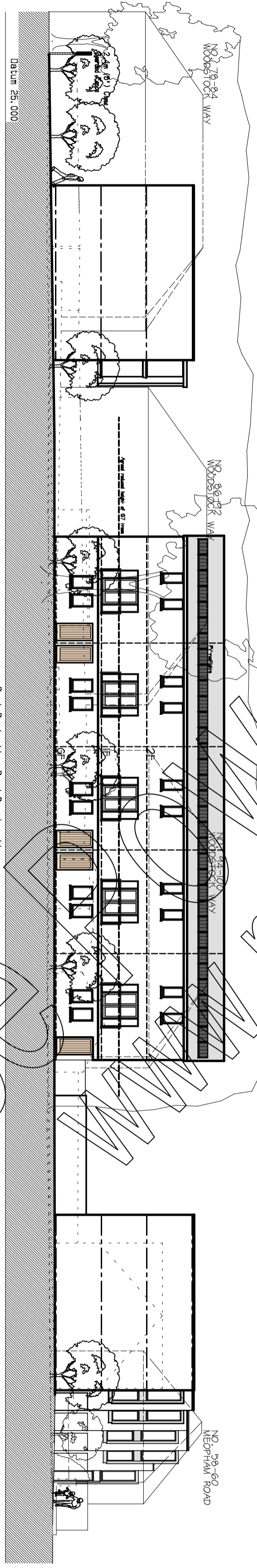
Burley

- Schedule of Materials:**
- Roof: Stranding Seam aluminium
 - Walls: Brick
 - Bays: Vertical Boarded Cedar
 - Fasciae/Barges: Zinc coated Steel
 - Windows/Doors: Vertical Oak & Grey PPC Aluminium
 - Balustrades: Mill Finished Aluminium

-----Proposed 2.4m Fence Line



North West Elevation
View from Woodstock Way



South East Elevation
View From Graveyard

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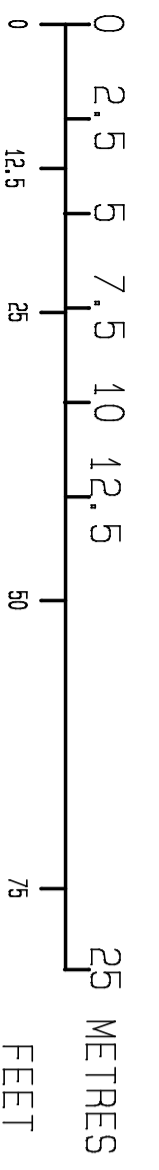
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PROPOSALS
ELEVATIONS

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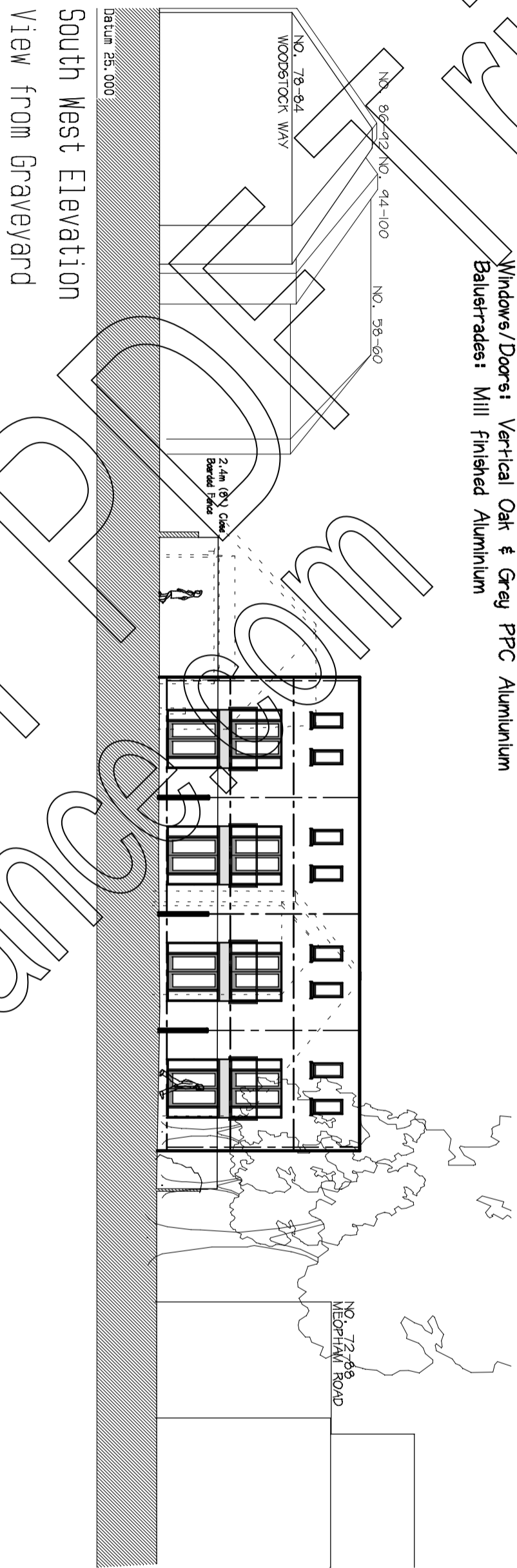
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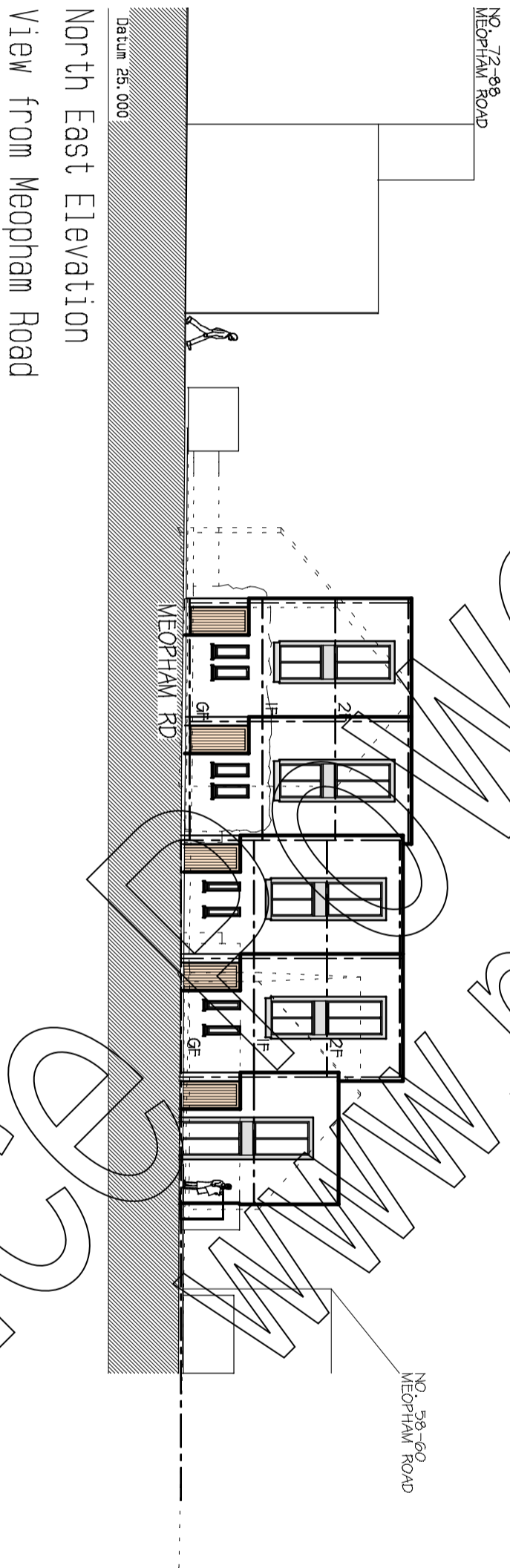
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- Schedule of Materials:**
- Roof: Standing Seam aluminium
 - Walls: Brick
 - Bays: Vertical Boarded Cedar
 - Fascias/Barges: Zinc coated Steel
 - Windows/Doors: Vertical Oak & Grey PPC Aluminium
 - Balustrades: Mill finished Aluminium



South West Elevation
View from Graveyard



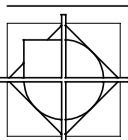
North East Elevation
View from Meopham Road

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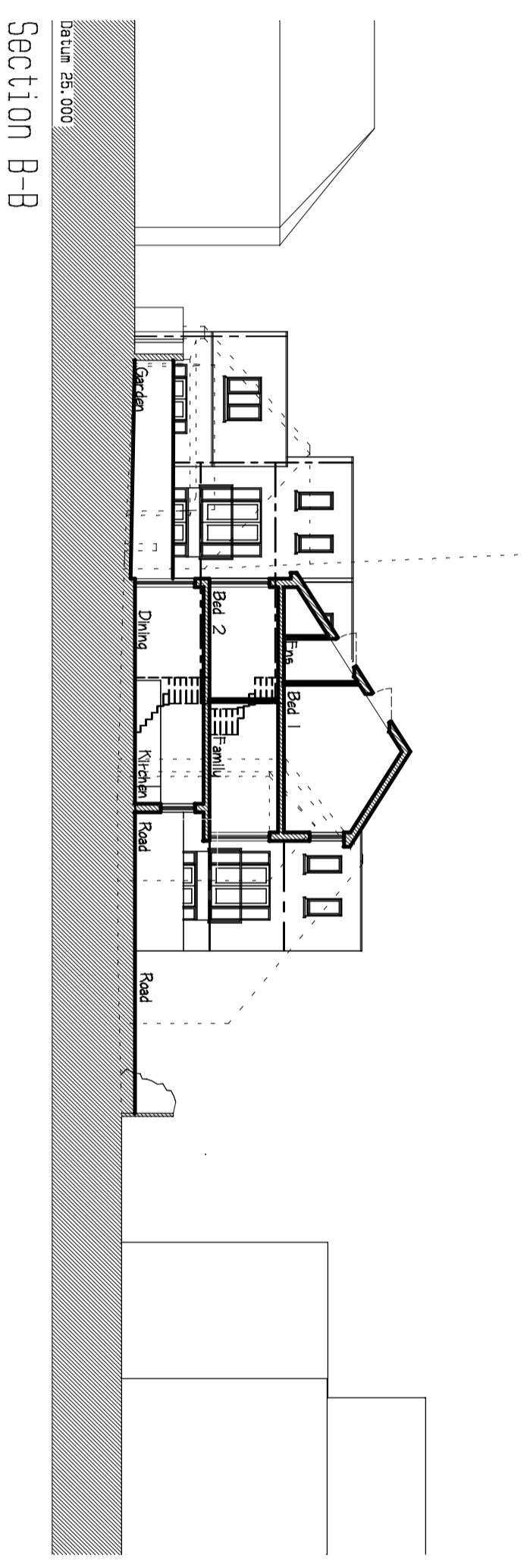
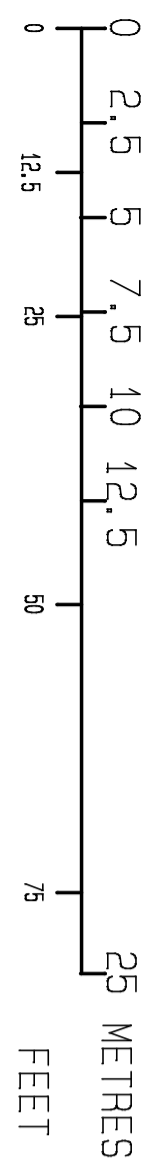
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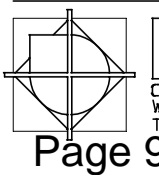
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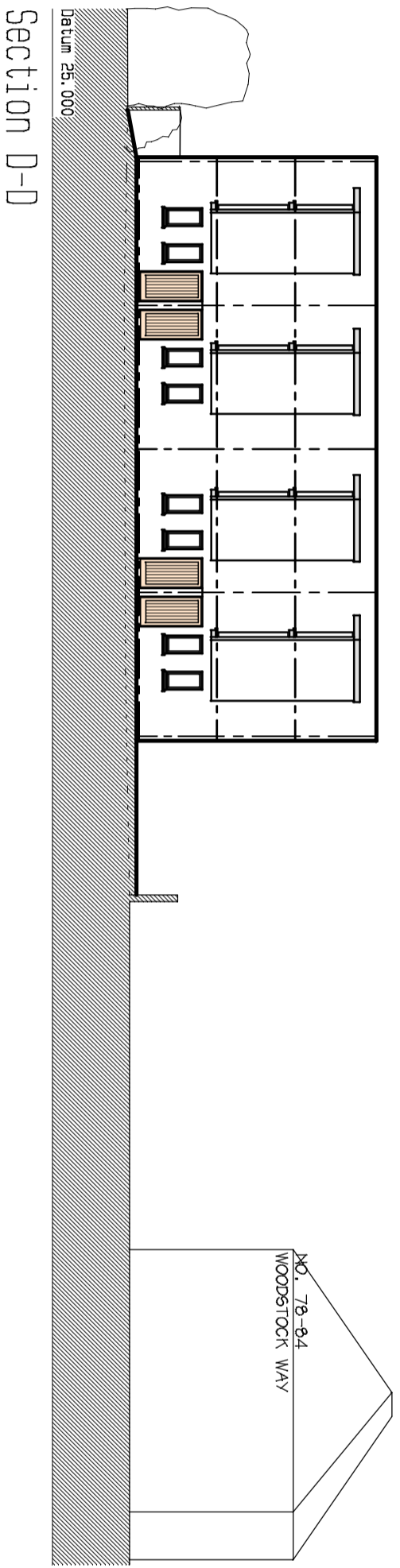
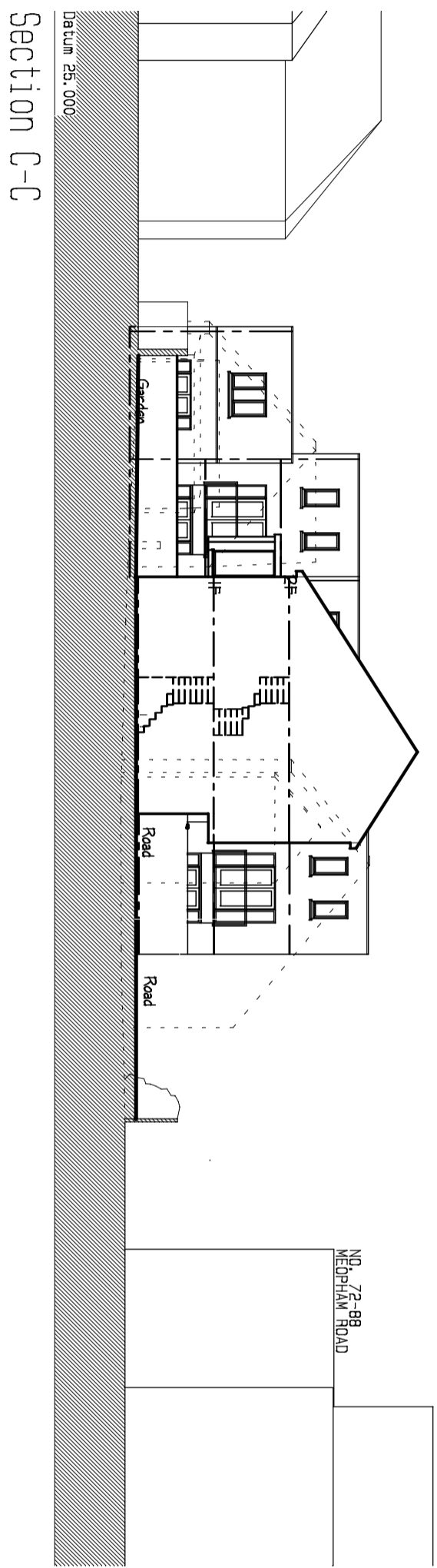
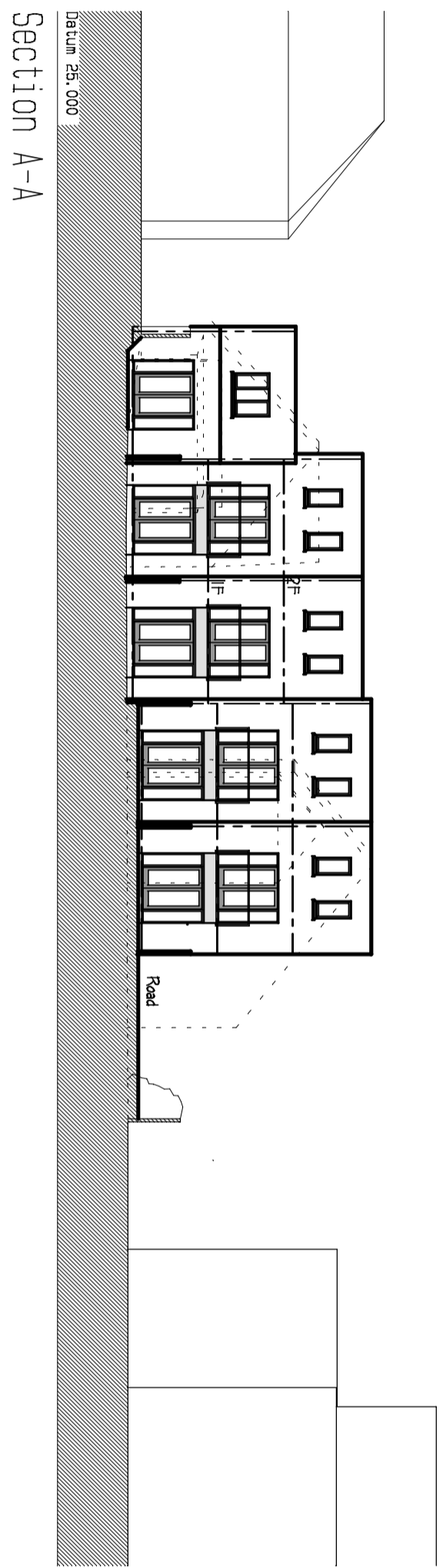
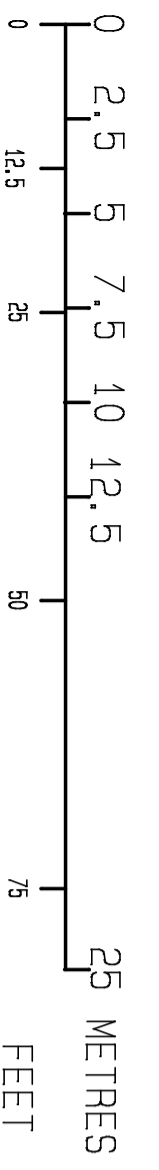
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Schedule of Materials:
 Roof: Shanding Seam aluminium
 Walls: Brick
 Bays: Vertical Boarded Cedar
 Fascias/Barges: Zinc coated Steel
 Windows/Doors: Vertical Oak & Grey PPC Aluminium
 Balustrades: Mill finished Aluminium

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EcoLogic Consultant Ecologists LLP

10 Elizabeth Avenue
Stoke Hill
Exeter
EX4 7EL

andrew@ecologic-consultants.co.uk
www.ecologic-consultants.co.uk



**Memo: 68 & 70 Meopham Road, Mitcham
Greater London, CR4 1BJ**

Project Number: 150303 rev00
Sent by: Email
Date: 13th January 2016

Ecological Mitigation & Enhancement Plan

Hedge

Status: A newly planted hedgerow along southwestern boundary.

Aim: To provide a dense vegetation screen.

Objectives: Plant a native hedgerow;
To undertake appropriate aftercare to establish hedgerow;
Continue ongoing management to maintain dense hedgerow growth up to 2.5m.

Spacing	Double line spacing 30cm apart, with plants planted alternately. Pot grown shrubs should be planted at 4 plants per metre.		
Size of Stock	Pot grown plants - 600 to 900 mm. Ideally two years old (1 year within a nursery +1 year grown on outside).		
Mulch	Mulch to depth of 75 mm, to suppress 'weeds' & to provide slow release of nutrients.		
Method of Planting	Individual pit planting		
Species	Holly	<i>Ilex aquifolium</i>	40%
	Wild privet	<i>Ligustrum vulgare</i>	20%
	Hazel	<i>Corylus avellana</i>	20%
	Field Maple	<i>Acer campestre</i>	20%

Planting Specification for New Hedge

Management

During the first 3 years, the newly planted hedgerow should be trimmed lightly, in order to establish and encourage dense vegetation growth.

During this initial 3 year period, the plants should be annually inspected with any failed specimens replaced during the following autumn or spring.

Continued ongoing management of the hedgerow will be undertaken to encourage a dense vegetation structure, which will in turn provide habitat for invertebrates, birds and bats. Trimming should be undertaken once every three years, with the hedgerow allowed to attain a height at or above 2.5m.

Trimming should be undertaken outside of the bird nesting season (i.e. trimming should be undertaken from September to February inclusive).

Fencing

Status: A new fence line to be incorporated along southeast and southwestern boundary.

Aim: To provide visual screen and site security.

Objectives: Install fence which allows easy of movement for invertebrates, small mammals (hedgehog), birds and amphibians.

Fence Specification

A double rowed and staggered fence including no ground obstruction (see detail below).

Rows of boarding are to be separated by a minimum distance of 150mm.

Fence to be 8 foot (2.4m) in height.



Inbuilt Bat & Bird Roosting/Nesting Provisions

Status: Install inbuilt bat roosting and bird nesting provisions within the new dwellings.

Aim: To provide bat roosting and bird nesting opportunities.

Objectives: Install bat roosting and bird nesting provisions in suitable locations and arrangements.

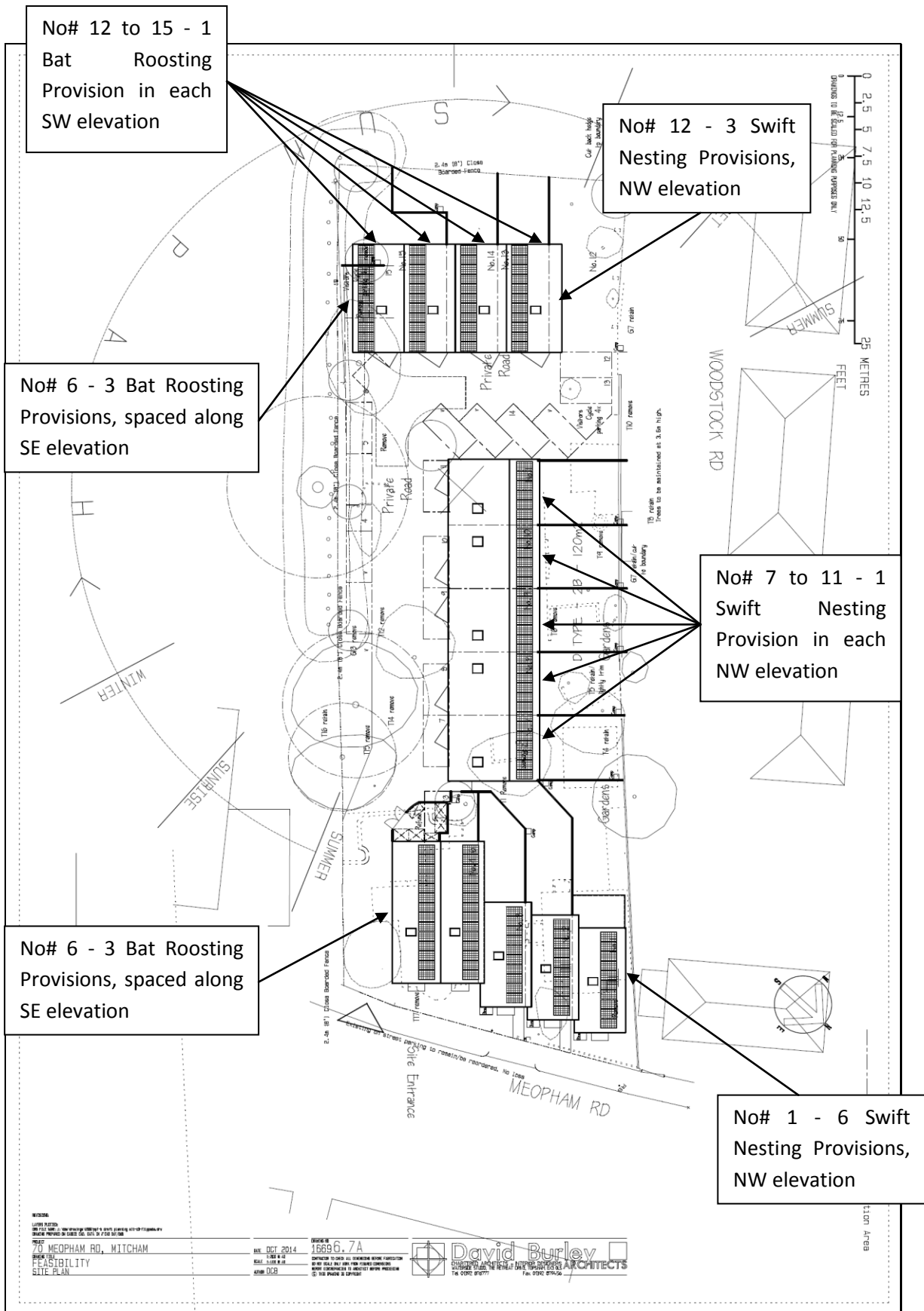
Specifications of provisions to be confirmed.

Development to include:

- 14 Swift nesting compartments; and,
- 10 bat roosting compartments.

See detail below.

Inbuilt Bat Roosting & Bird Nesting Provision Locations



Arboricultural Impact Assessment & Method Statement



For planning purposes at

**68-70 Meopham Road
Mitcham
London
CR4 1BJ**

Dated
15th October 2015



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1. Introduction

1.1. Instruction

1.1.1. We are instructed by Sebastian Abris of Venture Park Limited to assess the likely impact of development proposals and produce a Method Statement detailing how trees shall be protected from proposed construction activity at 68-70 Meopham Road. This report should be read in conjunction with our report dated the 2nd September 2014 which presents the results of our tree survey to British Standard 5837 (2012).

1.2. Scope and Purpose of the Report

1.2.1. This report is designed to accompany a planning application for development proposals at the above site. Its purpose is to assist and inform the planning process. It is produced according to the guidance and recommendations within *BS 5837: 2012 - Trees in Relation to Design, Demolition and Construction*.

1.2.2. The Method Statement should be viewed as a *Heads of Terms* Method Statement which specifies the general principles to be adopted during construction and demolition. However, specific construction activities proposed within Root Protection Areas may need to be agreed in more detail if requested by the local authority at the reserved matters stage.

1.3. References

1.3.1. We have liaised with David Burley Architects throughout the writing of this report in order to attain an adequate understanding of the project to enable us to carry out an accurate assessment of the proposals and to specify suitable tree protection measures.

1.3.2. This report supersedes our earlier report dated 27th August 2015 which assessed slightly different proposals.

1.4. Drawings

1.4.1. We have been supplied with a measured plan of the site with tree positions already plotted. Where applicable, additional trees have been plotted according to measurements taken on site.

1.4.2. The *Tree Constraints Plan* shows the existing layout. For each tree the stem location is indicated and scaled according to its diameter, the canopy is indicated according to measurements taken along the four cardinal points of the compass. Root protection areas (RPAs) are indicated which are calculated according to the guidelines within BS 5837 (2012).

1.4.3. Where appropriate, the shapes of the RPAs have been amended to reflect actual site conditions or where trees have been heavily pruned. The 'original' RPAs are indicated as a dashed line whereas the amended RPAs are indicated as a solid line.

1.4.4. The *Impact Assessment Plan* indicates the tree constraints with the proposals overlaid. Where applicable, this plan shows where works are proposed in Root Protection Areas and which trees are to be pruned or removed. This plan accompanies the Impact Assessment which is to be found in Section 2.

1.4.5. The *Tree Protection Plan* shows the protection measures that are to be installed during the construction phase. This plan accompanies the Method Statement which is to be found in Section 3.



2. Arboricultural Impact Assessment

2.1. Overview

2.1.1. It is proposed to demolish the existing buildings and construct new residential apartments as indicated on the plans in Appendix 6. The existing layout is indicated in blue, the footprint of the proposed layout is indicated in pale green.

2.1.1. The table below summarises the potential impact on trees due to various activities.

Activity	Trees Potentially Affected
Tree Removal: Retention Category A	None
Tree Removal: Retention Category B	None
Tree Removal: Retention Category C	T1, T2, T9, T11, T12, G13, T14, T15 and T17
Tree Removal: Retention Category U	T6, T10
Tree Pruning	G7, T4, T5
RPA: Foundations	None
RPA: New Surface	T4, T5, G7, T8
RPA: Underground Services	To be confirmed
RPA: Change of Ground Levels	None
RPA: Soil Compaction	T4, T5, G7, T8 (preventable by installing tree protection measures)

2.1.2. Other potentially damaging activities often associated with construction sites include demolition or the careless use of plant machinery, hazardous materials, or fires.

2.1.3. All of the above potential impacts are considered in detail throughout this section. Section 3 specifies the measures proposed to minimise all possible potential risks of damage to the retained trees.

2.2. Tree Removal

2.2.1. All trees to be removed are indicated on the Tree Removal Plan and are listed below:

2.2.2. **Retention Category A:** It is proposed to retain all Retention Category A trees.

2.2.3. **Retention Category B:** It is proposed to retain all Retention Category B trees.

2.2.4. **Retention Category C:** It is proposed to remove the following Retention Category C trees: T1, T2, T9, T11, T12, G13, T14, T15 and T17.

2.2.5. These are all relatively small trees. With the exception of T17, all are located within a rear garden and are not visible from public vantage points. Consequently they are considered to have a low amenity value. T17 is a small privet in the front garden which is also considered to have a low amenity value. The removal of these trees shall not have a significant impact on the visual amenity of the locality and they are not considered to be a material planning consideration.

2.2.6. **Retention Category U:** It is proposed to remove the following Retention Category U trees: T6 and T10.

2.2.7. Trees within this category are in such poor condition that they should be removed regardless of development proposals. Consequently the removal of Category U trees is not considered to be a direct impact of the development.



2.3. Mitigation Planting

- 2.3.1. It is proposed to plant two heavy-standard sized trees in the locations shown on the Proposed Planting Plan. A blue atlas cedar and a purple beech are proposed. These are both large growing species and are considered adequate mitigation given the size and low amenity value of the trees to be removed. The site does offer ample opportunity to plant several smaller species as part of a post-development landscaping scheme.
- 2.3.2. The planting scheme at Section 9 provides more details.

2.4. Impact on Tree Canopies

- 2.4.1. It is proposed to prune back the canopies of the cypresses in G7 back to the boundary where they are close to the flank wall of the rear-most proposed building (see the Impact Assessment Plan).
- 2.4.2. It is also proposed to crown lift the canopies of T4 and T5 to a height of 3.5m above ground level. This shall be sufficient to enable all anticipated construction traffic to pass beneath without damaging any branches.

2.5. Impact on Tree Roots

2.5.1. Rooting Habits:

- 2.5.2. The roots of T3 and T16 are not likely to proliferate in the site due to the presence of boundary wall foundations and garage foundations within the site.
- 2.5.3. The RPA of T8 has also been reduced because the canopy of this tree has also been heavily reduced so will not require the same rooting volume as any calculation based on stem diameter would suggest. The RPA indicated with a dashed lime on the accompanying plans is considered to be ample.

2.5.4. Foundations:

- 2.5.5. No foundations are proposed within the Root Protection Area of any retained tree. The foundations for the building closest to G7 shall be 3.3m from this hedge. RPA calculations do not really apply to hedges because, unlike other trees, they are artificially maintained at a small size. Hence the relationship between the stem diameter, the foliage and the root system is not the same.

2.5.6. New Surfaces:

- 2.5.7. The Impact Assessment Plan indicates where it is proposed to install a new hard surface over the Root Protection Areas of T4, T5, G7 and T8. T5 are the trees potentially most affected as the new surface shall occupy approximately one third of the Root Protection Area.
- 2.5.8. Traditionally installed hard surfaces can result in the severance of roots (due to excavation) as well as impoverishment of the rooting environment (due to soil compaction, rainfall interception and anaerobic conditions beneath).
- 2.5.9. Various systems are available which minimise the potential impact of hard surfacing over tree roots. Because quite a large portion of the Root Protection Areas shall be affected, it is proposed to utilise the Arborcraft System. This is considered to be the superior system due to its very light-weight construction, outstanding load spreading properties and because it enables full gaseous exchange and rainwater penetration. So long as this system is installed with no excavation, there will be no damage to tree roots and no impoverishment of the rooting system. This system is specified in Sections 3.9 and 7.



2.5.10. **Underground Services:**

2.5.11. Due to the potentially major impact of excavating trenches within Root Protection Areas, the locations of all underground services should be approved by the local authority after consultation with an appointed arborist to assess the potential impact on trees.

2.5.12. **Changes in Ground Levels:**

2.5.13. I understand that no changes to ground levels are proposed over Root Protection Areas.

2.5.14. **Soil Compaction:**

2.5.15. Tree protection measures specified are specified in Section 3. These include measures to minimise soil compaction. They should be maintained throughout the project to ensure minimal impact on tree roots due to construction activity.

2.6. Demolition Activities

2.6.1. There are no structures that require demolition close to trees.

2.7. Hazardous Materials

2.7.1. All hazardous materials (including cement and petrochemical products) will need to be controlled according to COSHH regulations in order to ensure there is no detrimental impact on tree health. Provision shall need to be made to ensure that cement and cement run-off are contained outside of all Root Protection Areas.

2.8. Cabins and Site Facilities

2.8.1. There is ample room for the siting of cabins and storage of materials / spoil during the construction phase without impacting on trees.

2.9. Boundary Treatments

2.9.1. I am not aware of any changes are proposed to the existing boundary features that will impact upon any trees.

2.10. Impact of Retained Trees on the Development

2.10.1. Some occasional trimming of the canopy of T5 may be required in the future to maintain an appropriate distance from the proposed buildings.

2.10.2. If the canopies of G7 regenerate after being pruned back to the boundary, then occasional future trimming shall also be required.

2.10.3. All other retained trees are located at sufficient distances from any proposed buildings and shall have ample room for future growth.



3. Method Statement

Section A: Introduction and Overview

3.1. Definition of Terms

3.1.1. Some terms used within the Arboricultural Method Statement have very specific meanings. These are defined below:


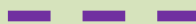
3.1.2. **Root Protection Area (RPA).** This is a theoretical area of ground around a tree where the roots are likely to proliferate. Ground disturbance in this area should be minimised in order to avoid significant impact on tree health. RPAs are indicated on all plans accompanying this report as a pink line.

3.1.3. **Construction Exclusion Zone (CEZ).** These zones are created to protect roots and canopies from inadvertent damage by construction activity – see Section 3.7. -*Construction Exclusion Zones*. They are usually fenced off by protective barriers throughout the entire construction phase. No works are permitted in these zones other than minor landscaping works which do not require a change in ground level. Where practicable the entire *Root Protection Area* and the area beneath the tree canopy shall be treated as a *Construction Exclusion Zone*. These zones are hatched purple on the Tree Protection Plan.

3.1.4. **Restricted Activity Zone (RAZ).** It is not always possible to create a *Construction Exclusion Zone* over the entire RPA. This is because access may be required or some works may be proposed within the RPA. In such circumstances a *Restricted Activity Zone* is created where limitations are placed on construction activity. Ground protection measures may be specified or the *Restricted Activity Zone* may be fenced off throughout part of the construction phase. See the legend on the Tree Protection Plan to identify these zones.

3.2. Tree Protection Barriers - Overview

3.2.1. The Tree Protection Plan indicates the location of all proposed tree protection barriers according to the following legend and overview:

Symbol on Tree Protection Plan	Barrier type See Section 6	Location
	In-Ground System or Back-Stay System	Around the Construction Exclusion Zones, close to where construction activity is proposed. As indicated on the Tree Protection Plan.
	Back-Stay System	N/A

3.2.2. The barriers shall be installed prior to the commencement of any construction activity including soil stripping and delivery of materials. A detailed specification of the barriers can be found in Section 6.

3.2.3. The tree protection plan also indicates where ground protection measures shall be installed as specified in sections 3.8 onwards (*Restricted Activity Zones*) and Section 7-*Ground Protection Measures*.



3.3. Planning Status

- 3.3.1. Tree protection measures specified within this report should be agreed with the local authority so that they may be conditioned upon planning consent.
- 3.3.2. The site manager must be familiar with all aspects of this Method Statement and should liaise with the author of this report for clarification, or regarding any unforeseen issues where trees may be impacted upon.
- 3.3.3. A copy of this Method Statement shall be available on-site at all times. All personnel working on the site shall be made aware of any sections appertaining to their work. This includes short term contractors and persons responsible for deliveries and installation of services.

3.4. Overview of Protection Measures

- 3.4.1. Below is a list of potential arboricultural impacts and a summary of the proposed protection measures:

Reference	Comments	Potential Impact	Protection measures
T4, T5, G7, T8	Access is required over the Root Protection Area.	Compaction and contamination adjacent to proposed works.	Restricted Zone A created and ground protection measures to be installed before commencement, and maintained throughout the project. Construction exclusion zone to be created over remainder of Root Protection Area. See Section 3.8 for all restrictions that apply.
T4, T5, G7, T8	New hard surface proposed over Root Protection Area.	Root severance. Soil compaction. Impoverishment of the rooting environment	Restricted Zone Created and either fenced off or ground protection measures installed to prevent soil compaction. No-Dig OR Minimum-Dig method to be adopted to prevent root severance. Arborcraft system to be installed to ensure maximum load spreading and to enable full gaseous exchange and rainwater penetration. See sections 3.9 and 7.
G7	Canopy is close to proposed construction activity.	Damage to overhanging branches.	Foliage to be pruned back to the boundary.
T4, T5	Traffic shall pass beneath the canopy.	Damage to overhanging branches.	Canopy to be lifted to a height of 3.5m.
All other retained trees	No significant works are proposed in Root Protection Areas.	Compaction and contamination from general construction activity.	Protective fencing installed as specified in Section 6 and Construction Exclusion Zone created where appropriate. No works permitted in Exclusion Zone.

- 3.4.2. The above measures are described in more detail throughout the remainder of this section.



3.5. Timing of Operations

3.5.1. Activity within the site shall be phased according to the following chronology:

Order	Phase	Activity
1st.		Detailed design submission for approval (see Section 3.6 below). Discharge of any planning conditions relating to trees.
2nd.	Pre-Construction Phase	Undertake all specified tree removal and pruning (see Section 5 -Tree Works Schedule).
3rd.		Install the tree protection barriers (see Tree Protection Plan and Section 6 -Tree Protection Barriers).
4th.		Install ground protection measures (see Tree Protection Plan and Section 7 -Ground Protection Measures)
Protection measures confirmed acceptable by the local authority		
5th.	Construction Phase	Demolish existing structures and remove existing surfaces where applicable.
6th.		Install new buildings, hard surfaces and services taking into account restricted activities as specified in Sections 3.7 onwards
7th.	Post-Construction Phase	Remove protective barriers (fencing and ground protection measures as applicable).
8th.		Undertake restricted landscaping operations within Root Protection Areas, including boundary treatments, pedestrian surfaces, decking and any proposed tree planting.

3.6. Confirming Detailed Proposals (Reserved Matters)

3.6.1. This Method Statement is a *Heads of Terms* method statement. This means that it specifies the general principles to be adopted during proposed development works. Often additional input is required from engineers to confirm the exact locations of services or technical specifications which are beyond the scope of an arborist. This is usually provided at the reserved matters stage via planning conditions. The table below highlights where such confirmation is required.

Nature of Activity	Areas Potentially Affected	To be Confirmed
Services	Construction Exclusion Zones and Restricted Activity Zones	Exact location of all underground services and trenches. Location of any proposed soak-aways. Method of installation where services pass through Root Protection Areas.
Hard surface	Near T4, T5, G7 and T8	Arborcraft system or similar to be agreed and approved with the local authority tree officer. Exact specification of surface to be agreed.
Boundary Treatments	Plot boundaries	Nature of new boundary features. Method of installation of walls and fences over Root Protection Areas where applicable.
Landscaping	Construction Exclusion Zones	Any specific landscaping proposals requiring approved by the local authority but not considered within this report.

3.6.2. The limitations specified within this report need to be considered in detail by building and/or demolition contractors. Any conflicts should be raised at an early stage so that issues may be resolved and agreed with the local authority. This may require the production of a revised Method Statement.



Section B: Restrictions on Activities – Specific Zones

3.7. Construction Exclusion Zones

3.7.1. Within Construction Exclusion Zones (shaded purple on the Tree Protection Plan) the following restrictions shall apply:

- Fencing shall be erected and maintained throughout the entire project as indicated on the Tree Protection Plan and specified in Section 6 -Tree Protection Barriers.
- No construction activity whatsoever shall occur.
- No tree works, other than those specified in this report shall be undertaken.
- No alterations of ground levels or conditions.
- No chemicals or cement washings permitted.
- No excavation whatsoever.
- No temporary structures.
- No spoil shall be stored.
- No fires shall be permitted.
- All hazardous materials (including non-essential cement products) shall be forbidden.

3.7.2. Any hard surfaces that require removal shall be removed prior to the installation of the protective fencing or following all other major construction activity and the removal of the fencing. Surfaces shall be removed using hand tools or mechanical excavators operating from outside the Construction Exclusion Zone and marshalled by the appointed arborist.

3.8. Restricted Activity Zone A

3.8.1. Within these zones (indicated on the Tree Protection Plan) access will be required to facilitate construction. The following restrictions shall apply:

- No permanent or temporary structures shall be erected without written approval from the local authority.
- Removal of existing structures such as, walls, steps and hard surfaces shall be undertaken using hand tools or a mechanical excavator operating from outside the Restricted Activity Zone and carefully marshalled by an appointed arborist.
- Ground protection measures shall be installed as specified in Section 7 -Ground Protection Measures. These shall remain in place throughout the entire construction phase. *Note: where existing paving is retained and only pedestrian activity is proposed, no additional ground protection measures will be required*
- Vehicles or plant machinery in excess of 2 tonnes shall not be permitted in this area.
- Existing ground levels shall be retained undisturbed, except where batter slopes are installed alongside new surfaces or structures. Where applicable, batter slopes shall be installed using granular topsoil (not rich in clay) which shall slope down away from the edge of the structure and shall not exceed 200mm in depth.
- No excavation shall occur in this zone without consulting the appointed arborist and obtaining approval from the local authority.
- Storage of materials shall be limited to that which is required for the task in hand. Heavy materials that require storage for more than two days shall be stored outside the Restricted Zone.
- No spoil shall be stored.
- No fires shall be permitted.
- All hazardous materials (including non-essential cement products) shall be forbidden.



3.9. Restricted Activity Zone B

3.9.1. Within this zone (indicated on the Tree Protection Plan) it is proposed to install a new surface.

3.9.2. The following restrictions shall apply:

- No other building works shall be permitted.
- Ground protection measures shall be installed as specified in Section 7 -*Ground Protection Measures*, and shall remain in place until the new surface is installed. (Any existing hard surfacing may be retained in place of ground protection measures.)
- Removal of existing structures such as, walls, steps and hard surfaces shall be undertaken using hand tools or a mechanical excavator operating from outside the Restricted Activity Zone and carefully marshalled by an appointed arborist.
- The new surface shall be installed according to the *No-Dig* method as specified in Section 8 -*Surfaces*. Subject to approval from the local authority tree officer the Arborcraft cellular confinement system is to be installed which is also specified in Section 8.
- No vehicles or machinery shall pass over this area prior to the installation of the new surface unless ground protection measures are in place.
- No spoil shall be stored.
- Storage of materials shall be limited to that which is required for the task in hand. Heavy materials that require storage for more than two days shall be stored outside the Restricted Zone.
- No fires shall be permitted.
- All hazardous materials (including non-essential cement products) shall be forbidden.



Section C: Restrictions on Activities – Throughout the Site

3.10. Installation of Foundations

- 3.10.1. All foundations are to be excavated outside of Root Protection Areas (or on the very periphery) so their method of installation is of no arboricultural concern.

3.11. Canopy Protection

- 3.11.1. In order to protect tree canopies the following restrictions shall apply throughout the site:

- No machinery in excess of 3m shall pass beneath the canopy of any tree without being carefully marshalled in order to ensure that no branches are damaged.
- If materials require installation or delivery beneath tree canopies, this shall be done without the use of overhead cranes.
- If materials are to be installed or delivered close to tree canopies (but not beneath them) and a crane is required, they shall be carefully marshalled in order to ensure that branches are not accidentally damaged.

3.12. Site Hoarding

- 3.12.1. If site hoarding shall be installed over the Root Protection Area of any tree, the following restrictions shall apply:

- Ground levels shall be maintained as existing.
- Post holes shall not exceed 300mm x 300mm.
- No post hole shall be excavated within 1.5m of any tree stem.
- Post holes shall be excavated using hand tools or by a post-hole auger attached to plant machinery sited outside the Root Protection Area(s).
- Roots in excess of 25mm shall be retained wherever possible.
- Roots in excess of 10mm shall be pruned with sharp secateurs.
- Pruning shall be minimal and only undertaken where absolutely necessary to facilitate the site hoarding. It shall be undertaken by a reputable tree surgeon working to BS 3998 (2010).
- Cement products shall be mixed away from Root Protection Areas (see Section [3.21 - Hazardous Materials](#)).

- 3.12.2. Site hoarding may be installed in place of the specified tree protection measures subject to the approval of the local authority with regard to its location and specification.

3.13. Fence Posts or Decking Posts

- 3.13.1. If permanent fencing or decking is to be installed within Root Protection Areas, the following restrictions shall apply:

- All post holes shall be excavated by hand and kept as narrow as possible (maximum diameter 300mm).
- Exploratory post holes shall be dug before committing to post / panel positions. If any roots in excess of 25mm are encountered they are to remain intact and the post hole shall be relocated slightly. The fencing system must permit such flexibility (i.e. where fixed panel widths are used, all post holes must be excavated before committing to the final location).
- Any roots in excess of 10mm which are severed shall be neatly pruned back with secateurs. This will encourage healing and reduce the likelihood of infection.



3.13.2. Walls shall be avoided over Root Protection Areas unless their foundations may be spanned over roots using a beam system.

3.13.3. Hedges may be planted within Root Protection Areas using hand tools to minimise excavation.

3.14. Demolition and Initial Ground Works

3.14.1. No demolition, removal of surfaces, or soil stripping shall commence until the protective fencing and ground protection measures are installed to the satisfaction of the local authority.

3.15. Underground Services

3.15.1. No underground services shall pass through any part of the *Construction Exclusion Zones* or *Restricted Activity Zones* unless done so in a manner detailed in a specific Method Statement and approved by the local authority.

3.16. Lighting, Bollards, CCTV and associated Cables

3.16.1. If any of the above are to be installed close to tree canopies or within Root Protection Areas of retained trees; installation methods shall be detailed in a specific Method Statement and approved by the local authority. Consideration should be given to the following:

- Pruning of branches to enable sufficient clearance for light and views. Branches should be removed to the *branch collar* as per British Standard 3998 (2010).
- Post holes must be excavated by hand or using an appropriate sized auger. No other form of mechanical excavation may be used.
- Cables should be routed in a direction directly away from the tree. It will not be acceptable to excavate a trench across any Root Protection Areas.

3.17. Use of Heavy Plant

3.17.1. All machinery operatives are to be made aware of any *Construction Exclusion Zones* and *Restricted Activity Zones* that apply to this site (see the Tree Protection Plan and Section 3.7 onwards).

3.17.2. All machinery operatives are to respect these zones and ensure that no damage occurs to trees due to the careless use of machinery.

3.18. Scaffolding

3.18.1. If scaffolding is required in areas containing ground protection measures, the protective boards shall need to remain in-situ and be strengthened and stabilised to bear the weight of scaffold poles.

3.18.2. Prior to the installation of any scaffolding within 0.5m of any tree branches, the appointed arborist shall be consulted to specify any pruning works that may be required.

3.19. Siting of Cabins and Storage of Materials

3.19.1. Cabins and heavy building materials may be located or stored anywhere outside of *Construction Exclusion Zones* and *Restricted Activity Zones*.

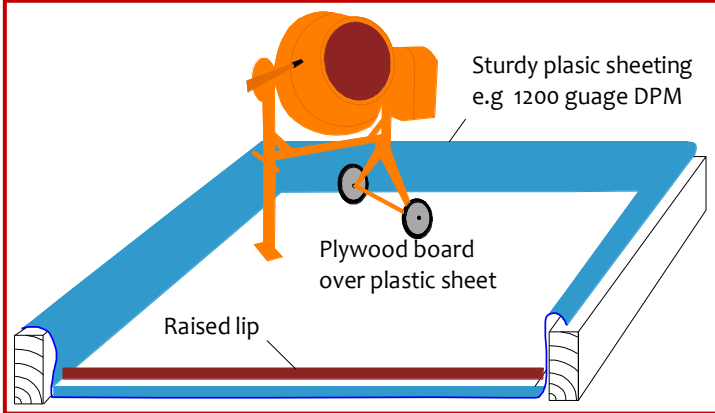
3.19.2. Any proposal to install cabins or materials within these zones shall be agreed in writing with the local authority prior to installation.

- 3.19.3. It may be acceptable to locate site cabins such that they act as a tree protection barrier and replace the specified protective fencing. Where this is being considered, written approval must be sought from the local authority.

3.20. Pedestrian Paving

- 3.20.1. If it is proposed to install new pedestrian surfaces over Root Protection Areas, excavation shall be limited to the removal of existing turf/vegetation plus an additional 50mm. Excavation shall be undertaken using hand tools only. Porous materials are preferred but not essential if the new surface covers less than 10% of the Root Protection Area. Paving with a thickness of 50mm bedded on mortar, or sand, bearing directly onto the ground, with a finished surface level with existing ground levels will be acceptable. No retaining kerbs shall be used.

3.21. Hazardous Materials

- 3.21.1. Any mixing of cement based materials shall take place outside the Construction Exclusion Zones and Restricted Activity Zones. Where cement is to be mixed at considerable distances from trees and water run-off cannot enter Root Protection Areas, then no further special measures are required. Otherwise, provision shall be made to ensure that the mixing area is contained so that no water run-off enters the Root Protection Area of any trees (see diagram for example). Mixers and barrows shall be cleaned within this area.
- 
- 3.21.2. All other chemicals hazardous to tree health, including petrol and diesel, shall be stored in suitable containers as specified by current COSHH Regulations, and kept away from Root Protection Areas.



Section D: Post-Construction Phase

3.22. Removal of Tree Protection Barriers

- 3.22.1. This will be done after all major construction work is complete. Vehicular access will not be permitted within the Construction Exclusion Zones.
- 3.22.2. The local authority tree officer shall be made aware that the fencing is to be removed.

3.23. Landscaping

- 3.23.1. No machinery used within landscaping operations shall operate within the Root Protection Areas of retained trees.
- 3.23.2. Ground levels shall not be altered within Root Protection Areas without consultation and approval from the local authority.

3.24. Tree Planting

- 3.24.1. Trees planted in poor soils or compacted soils are unlikely to become established, so prior consideration should be given to rooting conditions. Where compaction or contamination is believed to have occurred expert horticultural or arboricultural advice should be sought.
- 3.24.2. Any new tree planting shall be carried out after completion of all construction activity in the vicinity.



4. Site Inspection

4.1. Inspection Schedule

- 4.1.1. In order to ensure that the trees are adequately protected it shall be necessary to confirm that the tree protection barriers and ground protection measures are installed to the satisfaction of the local authority. This will be done by the local authority tree officer or an appointed arborist (see Section 4.2 below) who will provide the tree officer with a copy of inspection details.
- 4.1.2. The following inspection schedule is suggested though the local authority may specify additional supervision where deemed necessary.

Inspection	Attendees	Comments
Pre- Start To occur prior to any works taking place on the site.	N/A.	Site manager to study this Method Statement & contact the appointed arborist to agree all protection measures.
Pre-Construction Meeting After tree works completed & tree protection barriers / ground protection measures installed. Prior to any other activity, inc. demolition & soil stripping.	Site manager, appointed arborist and/or local authority tree officer. *	Tree protection fencing locations & specification checked. Additional ground protection measures checked. Further protection measures / restrictions agreed.
Installation of new surface in Restricted Zone B.	Site manager, appointed arborist and/or local authority tree officer.	Attendance required at commencement.
Post-Construction Meeting Post major construction activity but prior to removal of fencing & landscaping operations.	Site manager, appointed arborist and/or local authority tree officer.	Retained trees inspected. Further landscaping operations and restrictions to be agreed.

* Where agreed with the L.A. it may be acceptable to supply photographs of the fencing to avoid the necessity for a site visit.

4.2. The Appointed Arborist

- 4.2.1. The appointed arborist must be acceptable to the local authority. He / she must have a good understanding of the project requirements and be suitably qualified to understand the hazards associated with development near to trees.
- 4.2.2. The appointed arborist should work closely with the site manager and shall have the authority to insist upon work stoppage until resolution of any major issues arising which could be detrimental to the health of protected or important trees.
- 4.2.3. The appointed arborist must keep the local authority updated at each of the stages within the inspection schedule and will advise on any unexpected issues arising throughout the project which could impact on trees.



5. Tree Works Schedule

5.1. Tree Works Specification

5.1.1. The following table specifies the tree works which will be required prior to the commencement of construction activity:

Tree Reference	Action Required	Notes
T1, T2, T6, T9, T10, T11, T12, G13 T14, T15, T17	Remove.	Stumps of trees within the RPAs of retained trees shall be removed with a stump grinder NOT a mechanical excavator.
T4, T5	Crown lift to a height of 3.5m.	See below.
G7	Prune back to the boundary where close to the rear-most proposed building.	See below.

5.1.2. **Pruning Standards:** Sympathetic pruning shall be carried out to BS 3998 (2010). Lopping of branches is to be avoided. Instead as system of ‘drop crotching’ or ‘reduction via thinning’ is to be used to achieve the desired clearance without spoiling the appearance, or form, of the trees. All pruning cuts shall be made close to the branch collar or a secondary growth point. Cuts to be made with sharp, clean tools. No wound sealants to be used.

5.1.3. **Additional works:** Any recommendations specified in the Tree Data Schedule (but not replicated in the above table) are intended to maintain the tree population in an acceptable condition. They are made for reasons of good arboricultural practice regardless of development proposals. However, they do not form part of this planning application. Where these trees are protected by a tree preservation order or are in a conservation area, consent must be sought from the local authority. Only the works listed in the table above form part of this planning application whereby no additional consent will be required if planning permission is granted.

6. Tree Protection Barriers

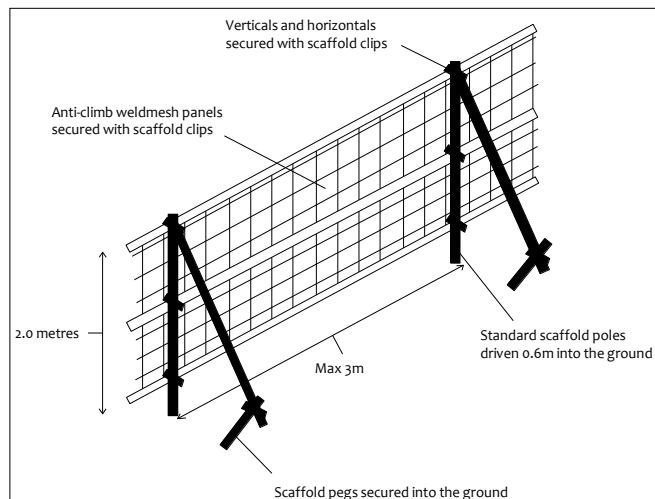
Detailed Specification

6.1.1. The purpose of tree protection barriers is to keep construction activity away from *Restricted Activity Zones* or *Construction Exclusion Zones*. They should be appropriate to the nature and proximity of activity within the site. The barriers should be erected prior to the commencement of all activity including demolition, soil stripping and delivery of materials and demolition (except where existing structures require demolition to enable the barriers to be installed). Barrier systems are specified below and should be installed according to the legend on the Tree Protection Plan.

6.2. The In-Ground System

6.2.1. This system may be installed where indicated by a solid purple line on the Tree Protection Plan. It should be robust enough to withstand occasional knocks by plant machinery and, once installed, shall remain in place throughout the entire construction phase.

6.2.2. Vertical scaffold poles are driven into the ground, onto which are affixed horizontal scaffold poles and diagonal bracing struts. Weldmesh panels (or similar – e.g. Heras type fencing panels, or 18mm+ plywood boards) are secured to this scaffold framework using sturdy clips e.g. standard scaffold clips. The system is illustrated in the diagram to the right and is based on BS 5837 guidelines.



6.3. The Back-Stay System

6.3.1. This system may be installed where indicated by a solid or dashed purple line on the Tree Protection Plan. It is more practical over existing hard surfaces or where the fencing needs to be moved to enable permitted activities within a *Restricted Activity Zone*. This system should be able to withstand occasional knocks by machinery and should not be relocated except with the consent of the site manager and the approval of the local authority.

6.3.2. Within this system, weldmesh fencing panels (minimum height 2m) are affixed into rubber or concrete feet and clipped together with anti-tamper couplers. Where topography permits, two couplers should be used, spaced at least 1m apart. Alternate panels should be

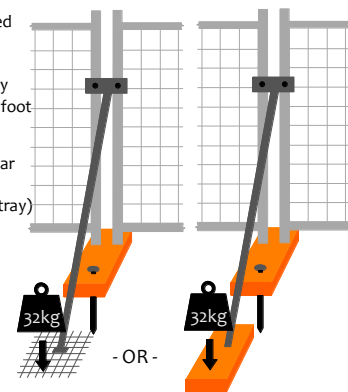
The 'Back Stay System' (an alternative to 'The In-Ground System')

2m X 3.5m weldmesh panels linked with anti-tamper couplings

Each panel attached to a back stay which is founded in an additional foot or mesh tray as illustrated

Minimum 32kg ballast to retain rear foot or tray (including the weight of the foot/tray)

Front feet to be secured with ground pins or additional ballast



attached to a diagonal back stay connected to an additional foot or baseplate secured with ground pins or additional ballast. Where ground pins are not used, the total weight of the foot/plate plus ballast should total not less than 32kg.

6.3.3. Alternatively, timber struts may be used to affix the panels to existing walls using brackets and screws where the fence panels are sufficiently close for this to be effective.

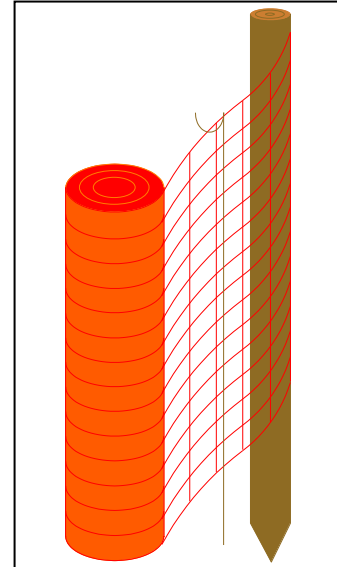
6.3.4. Where it is not possible to install diagonal struts (such as very close to a hedge) then the front feet shall be secured using ground pins or ballast.

6.4. The Barrier-Mesh System

6.4.1. Where indicated by a thick red line (solid or dashed) on the Tree Protection Plan, it shall be acceptable to install a less robust system than those specified above. This is because of the nature of construction activity or its distance from tree protection areas. The purpose of such a system shall be to demarcate the protection zone. It is not intended that such fencing will withstand knocks by construction machinery.



6.4.2. In this system, high visibility plastic safety fencing, 1m high, minimum grade 140g/m², is secured onto alternate wooden posts and fencing pins. Wooden posts to be located at 5m intervals, minimum dimensions 75mm.



6.5. Notices

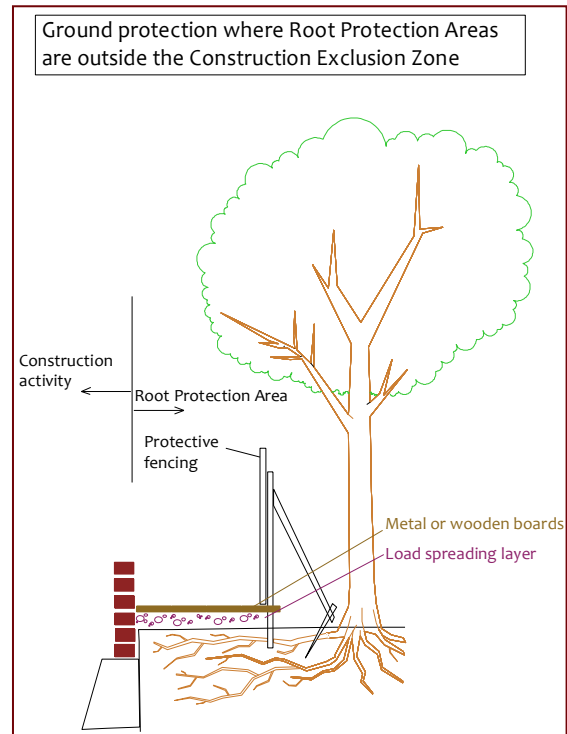
6.5.1. Suitable weather-proof notices should be displayed to identify tree protection zones. They should state the purpose of the fencing and that it should not be moved, or traversed, other than by authorised personnel.

7. Ground Protection Measures

Detailed Specification

7.1.1. Where indicated on the Tree Protection Plan (Restricted Activity Zones A and B), soils containing roots may be subject to compaction due to general construction activity (including pedestrian activity and use of plant machinery). In order to minimise compaction, it is proposed to ensure that a suitable load-spreading surface is in place at all times.

7.1.2. Any existing hard surfacing may be retained and reinforced (where applicable and adequate), otherwise suitable new ground protection measures shall be installed. The ground protection shall need to be able to adequately spread the load of construction traffic. Where existing hard surfacing is to be retained, it shall not be necessary to install additional ground protection measures. However, the hard surfacing must be firm enough to spread the load of any traffic passing overhead.



7.1.3. Where only pedestrian traffic will occur, the ground protection measures may be as simple as timber boards, or scaffold planks installed directly onto a geotextile fabric on the ground. The ground should first be made even by raking, or by adding a few centimetres of sand or woodchip. Alternatively the boards may be supported by a scaffold framework. The scaffold may be founded on poles driven into the ground and/or onto blocks (to raise the scaffold) with additional couplings to make the framework secure.

7.1.4. Where only light vehicles are to operate (e.g. barrows, trolleys or occasional cars), thick wooden boards or scaffold planks should also suffice, though at least 150mm of compressible woodchip will need to be installed first to help spread the load. Sturdier systems are specified below:

7.1.5. Where cars will regularly park or heavier vehicles/plant machinery will occasionally operate, sturdier ground protection measures will be required such as metal road plates, or purpose built synthetic road mats over a compression resistant layer such as 150mm of woodchip or 100mm of a 3D cellular confinement system in-filled with 7-40mm angular gravel (e.g. CellwebTM - see Section 7).

7.1.6. A temporary concrete slab may also be considered as a suitable load spreading platform. Where a pile driver needs to operate, a concrete slab may be the preferred option.

7.1.7. Where existing structures need to be removed, this shall be done with temporary ground protection measures in place to enable this to be achieved without compacting soils.

7.1.8. The ground protection measures shall be installed and approved before commencement of demolition and construction activity and before the arrival of plant machinery or materials. They shall remain in place until all heavy construction activity is complete or until they are due to be replaced with a new hard surface.

8. New Surfaces

Detailed Specification

8.1. No-Dig Driveway Installation

8.1.1. This section details the No-Dig Method which is proposed when installing the new surface over Root Protection Areas (Restricted Activity Zone B).

8.1.2. Ground Preparation - NO DIG

- Surface vegetation may be killed using a translocated herbicide such as GlyphosphateTM. Turf maybe lifted to a depth of 50mm using a hand operated turf lifting machine; mechanical excavators may not be used.
- Loose topsoil which contains a high degree of organic matter and is not suitable for bearing the hard surface may be removed using hand tools. If any roots in excess of 25mm, or an abundance of roots in excess of 10mm, are encountered, the excavation shall cease and the local authority shall be informed so that an appropriate response may be agreed. In such circumstances, exposed roots shall be covered with damp sacking or soil.
- Occasional roots in excess of 10mm which are severed shall be neatly pruned with secateurs to minimise the likelihood of infection. If no roots are encountered and the operation is being overseen by the local authority (or an approved appointed arborist), it may be possible to continue to excavate in strata of 50mm until the arborist overseeing the operation deems that excavation should cease.
- Any hollows should be filled with 2mm – 6mm chippings and a levelling layer of at least 25mm of sharp sand should be installed.

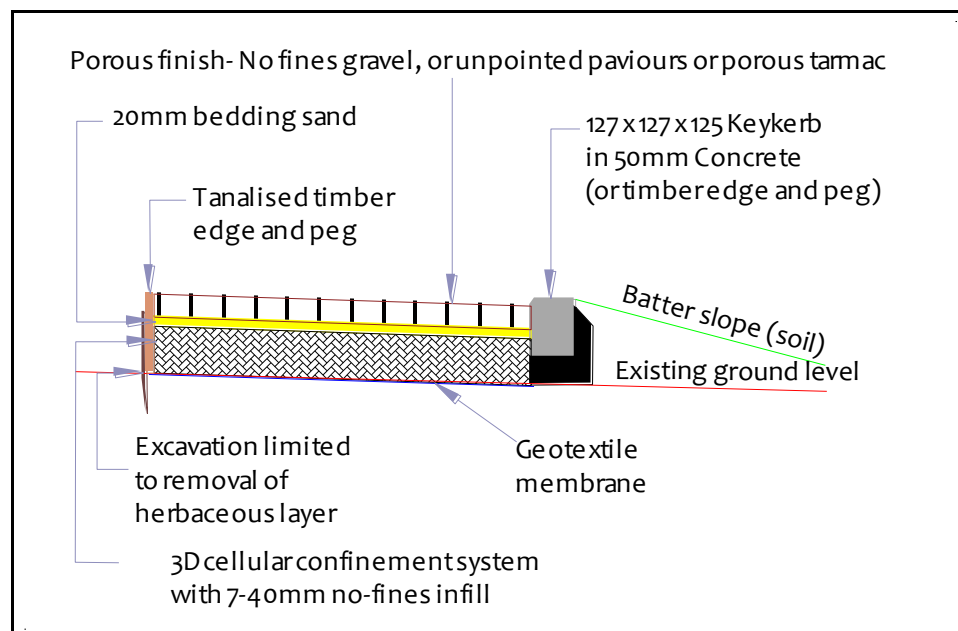


Figure 2: No-Dig Method

8.1.3. **Drive Edgings.** Edging solutions (such as kerbstones) requiring further excavation will not be acceptable within Root Protection Areas. Instead, an above ground system shall be installed such as a tanalised timber edge (treated for a 40 year design life) retained by narrow pegs driven into the ground. Alternative above ground systems must be approved by the local authority.



- 8.1.4. Where required, batter slopes may be installed to tie in with existing ground levels (max 1:3 gradient, maximum 100mm increase in ground level). However, no increase in ground level shall be permitted immediately adjacent to any tree stem or associated buttress roots.
- 8.1.5. **The sub-base.** Once the edgings are in place, a geotextile membrane shall be laid down to prevent root penetration into the road surface. A thin levelling layer of sharp sand or similar may then be installed.
- 8.1.6. A 3 dimensional cellular system should then be installed. This may either be a confinement system (flexible or rigid) which incorporates an aggregate, or a raft system that requires no aggregate. These three systems are all considered suitable for use over tree roots and are specified below:
- 8.1.7. **1) Rigid Cellular System** - A 3 dimensional cellular confinement system shall then be installed with a minimum thickness of 40mm. This may be filled with 7-14mm angular gravel. Example systems are illustrated below:



- 8.1.8. The entire cellular system shall be laid first and may be pinned in place using ground pins. This shall be followed by the infill, working from one end such that heavy machinery does not pass over any Root Protection Areas until the in-fill is installed.
- 8.1.9. **2) Flexible Cellular System** – see illustration. This will be filled with a no fines angular in-fill (e.g. 7 – 14mm or 20 – 40mm gravel).
- 8.1.10. I understand that a 100mm deep system is generally adequate to cope with light traffic, though this should be verified with the manufacturer and engineers. A limestone based in-fill will not be acceptable. Enough infill should be used to allow for settlement and compaction and no more. If required, the infill may be periodically topped up.
- 8.1.11. The entire cellular system shall be laid first and may be pinned in place using ground pins. This shall be followed by the infill, working from one end such that heavy machinery





does not pass over any Root Protection Areas until the in-fill is installed. The entire system may then be lightly compacted to a degree appropriate for the expected load.

- 8.1.12. Up to 50mm of 2 - 6mm clean hard grit (no fines) angular granular fill may be overlaid as a laying course.

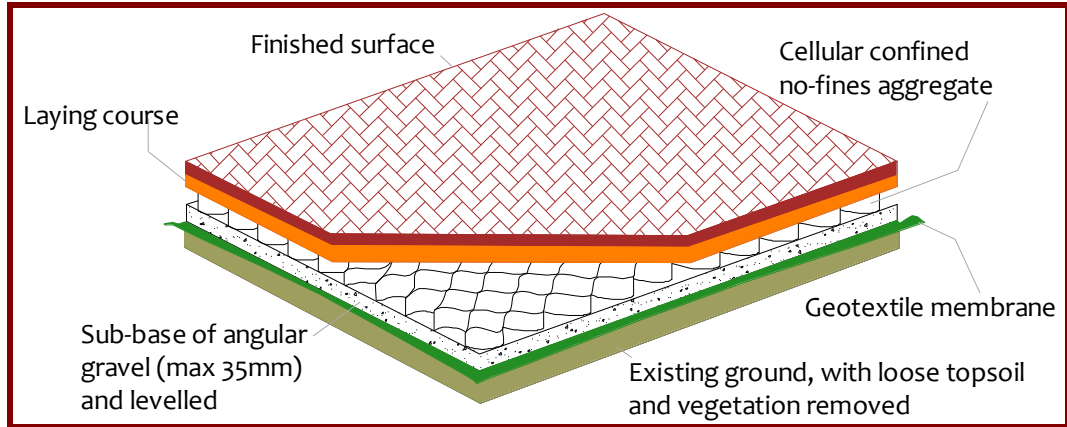
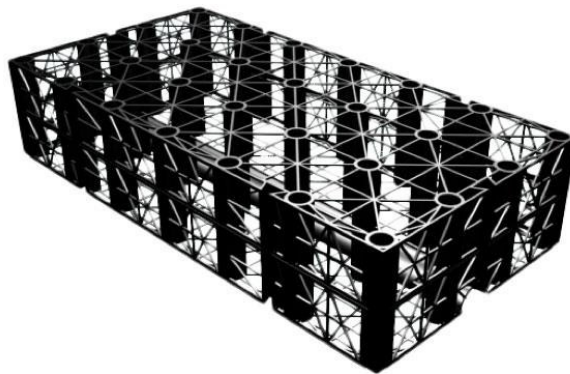


Diagram illustrating the cellular confinement system

3) Raft System (e.g. Arborraft™) – In this system, 85mm or 150mm deep polypropylene box structures are connected together to form a raft which sits above the ground and beneath the finished surface.



For situations other than very light usage, the 150mm system is recommended. This should be laid over a suitably thick geotextile. Another geotextile (or similar) is laid over the raft and any finished surface may then be installed according to engineers specifications. The finished surface may be porous or may be impermeable. If impermeable, ventilation and rainwater run off should be directed into the void. The overall thickness is likely to vary from 300mm to 450mm depending on the specification of the finished surface.

Care must be taken to ensure a suitable load spreading surface is in place before and during installation.

The advantage of this type of system (regarding roots) is that it is very light-weight (requiring no aggregate) and has an excellent load spreading capacity (reducing soil



compaction) whilst also providing maximum aeration and rainwater to the soils beneath. It can also be a very cost effective solution since no aggregate needs to be purchased and installed.

8.1.13. **The Finished Surface.** The following surfaces are acceptable over rooting areas:

- **No-Fines gravel.** This option offers the maximum permeability. However, loose gravel should be avoided close to the site entrance as it has a tendency to spill out into the adjacent public footway. Resin bonded gravel may be acceptable if it is shown to be sufficiently porous to enable rainwater to easily pass through to the sub-base below.
- **Block paving.** This is a good alternative as it allows a fair degree of permeability. Blocks with extra wide nibs shall be utilised to enable maximum infiltration of water between the blocks. Blocks shall be jointed with 1mm – 4mm clean hard crushed stone (no fines) brushed over the spaces and settled with the aid of a vibrating plate compactor.
- **Porous asphalt to BS EN 13108-7 (previously Pervious Macadam BS 4987 – 1 & 2).** This offers a degree of permeability and is preferred over concrete or asphalt containing-fines (e.g. *Stone Mastic Asphalt* (BS EN 13108-5) or *Hot Rolled Asphalt* (BS EN 13108-4)). This surface may require a porous binder course. Actual specification will vary according to ground conditions and expected load, and should be agreed with a Highways Engineer or Geotechnical engineer.
- **Concrete.** Concrete is impermeable so is only suitable for very small areas e.g. narrow paths where oxygen and rainwater runoff will be able to penetrate beneath the surface from the sides. It is possible to engineer a fully concrete solution whereby a concrete slab is supported by narrow piles with a ventilated void beneath. This is effectively a bridge over the Root Protection Area and needs to be specified by an appropriately qualified engineer. This system can provide an excellent solution but is rarely adopted due to the prohibitive cost.

8.2. Pedestrian Surfaces

8.2.1. If it is proposed to install new pedestrian surfaces over Root Protection Areas, excavation shall be limited to the removal of existing turf/vegetation plus an additional 50mm. Excavation shall be undertaken using hand tools only. Porous materials are preferred but not essential if the new surface covers less than 10% of the Root Protection Area. Paving with a thickness of 50mm bedded on mortar, or sand, bearing directly onto the ground, with a finished surface level with existing ground levels will be acceptable. No retaining kerbs shall be used.



9. Planting Scheme

9.1. Tree Planting Schedule

9.1.1. It is proposed to plant two standard sized trees in the locations indicated on the accompanying Proposed Planting Plan ref CCL/09185/PPP. And specified below:

Ref No	Species	N ^o	Size
N1	Blue Atlas Cedar <i>Cedrus atlantica f. glauca</i>	1	Heavy Standard 12-14 cm girth, 3.6 – 4.25m height
N2	Purple Beech <i>Fagus sylvatica 'purpurea'</i>	1	Heavy Standard 12-14 cm girth, 3.5m+

9.2. Tree Planting Specification

- 9.2.1. All stock shall be healthy and conform to BS 3936: 1992. *Nursery Stock. Part 1: Specification for Trees and Shrubs*. All stock to be materially undamaged, sturdy, vigorous, of balanced shape and without elongated shoots. Trees to be selected with a single, straight, stout stem and good graft union
- 9.2.2. All species are to be true to type, no substitutes are to be made without the written consent of the Local Planning Authority.
- 9.2.3. Any approved planting operations within the RPAs of retained trees are to be undertaken using hand tools only. No tracked / wheeled machinery to be used. No chemicals of any description to be used. No topsoil stripping, lowering or raising of ground levels (including the spreading of topsoil prior to seeding or turfing).
- 9.2.4. Ground which has been lightly compacted during construction is to be cultivated to a depth of 300mm. A minimum area of 1m x 1m for each tree.
- 9.2.5. Where chemical contamination or heavy compaction has occurred, or where the soil is determined to be relatively shallow or infertile, an appropriate amount of soil is to be removed and replaced with quality topsoil compliant with BS 3882. A minimum area 2m x 2m x 0.5m deep is to be replaced for each tree. Prior to backfilling with topsoil, bases and sides of all excavation to be de-compacted/loosened with a garden fork or spade.
- 9.2.6. Otherwise, a planting hole slightly larger than the root ball/ root spread shall be excavated by hand. The edge of the planting hole shall be roughened with a spade and the base dug over to a depth of 150mm to improve drainage.
- 9.2.7. The planting hole shall be backfilled with the same soil material and firmed to prevent air pockets.
- 9.2.8. Trees shall be planted with stem base at ground level, *Standard* trees (or smaller) shall be single staked at 30 - 50cm above ground level and attached with adjustable and flexible tree ties. *Heavy Standards* (or larger) shall be double staked at 80 - 1200cm above ground level and attached with adjustable and flexible tree ties. Stakes shall be driven into the ground such that they avoid the root ball. Stakes to be of tanalised timber with a minimum diameter of 75mm for *Standard* trees and 100mm for *Heavy Standards*.



9.2.9. Minimum area of 1.5m diameter around each tree to remain vegetation free. Seasoned woodchip or medium grade bark mulch to be installed to a depth of 100mm within this area to deter weed competition.

9.2.10. Trees to be planted late October to late March and well watered in immediately after planting.

9.3. Aftercare

9.3.1. Trees to be regularly watered during the first growing season and during prolonged dry spells for at least two further seasons.

9.3.2. Following is a guide to watering requirements, though in practice these are heavily dependent upon climatic conditions:

- All trees watered 3 times per month April through to September inclusive. During October, November and March the frequency may be reduced to 2 times per month. During December, January and February the frequency may be reduced to once per month.
- At each watering session heavy standards should receive 20 gallons, standards should receive 15 gallons and light standards should receive 10 gallons. This equates to approximately 10 minutes, 7.5 minutes and 5 minutes from a domestic hose at moderate pressure.
- The entire area beneath the canopy should be watered.
- After 2 years the trees should only require watering during periods of extended dry weather.

9.3.3. Tree ties to be checked annually and repaired / adjusted as required.

9.3.4. Stakes to be removed after 2 - 3 growing seasons.

9.3.5. Any trees which fail to become established are to be removed and replaced with a new tree of the same species and specification as the original.



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Arboricultural Report to BS 5837: 2012 for: Venture Park Limited
Crown Ref: 09185 Site: 68-70 Meopham Road, Mitcham
Author: Ivan Button Date: 15th October 2015

10. Signature

This report represents a true and factual account of the potential impact of development along with proposed protection measures at

**68-70 Meopham Road
Mitcham
London
CR4 1BJ**

Signed



.....

Ivan Button N.C.H. (Arb), FDS c (Arb), BSc (Hons), P.G.C.E., M. Arbor. A.

on behalf of

Crown Consultants Ltd

Dated

15th October 2015



Tree consultants throughout England and Wales



Appendix 1: BS 5837: 2012 – Guidance Notes

This Standard prescribes the principles to be applied to achieve a satisfactory juxtaposition of trees and structures. It sets out to assist those concerned with trees in relation to design, demolition and construction to form balanced judgements.

It acknowledges the positive contribution trees may offer to a site, as well as the negative aspects of retaining inappropriate trees. It addresses the negative impacts that construction activity may have upon trees and offers mitigation strategies to minimise these impacts.

The Standard suggests a three stage approach to ensure best practice is followed when developing close to trees:

A1.1 Stage 1: Survey of Existing Trees

This identifies the existing trees on and adjacent to the site. Data is recorded for each tree and is presented in a Tree Data Schedule. Each tree is allocated a **Retention Category** according to its size, amenity value, condition and safe useful life expectancy. The categories are allocated independently of development proposals. Our interpretation of the Retention Categories is explained below:

A1.1.1 Retention Categories

A Category: Trees of high quality and amenity value. Usually, mature trees with a significant life expectancy which would enhance any development. Retention of these trees is strongly encouraged.

B Category: Trees of moderate quality and amenity value. Usually these are maturing trees or younger trees with exceptional form. Retention of these trees is desirable though the removal of occasional specimens may be acceptable.

C Category: Trees of low quality or small specimens with a relatively low amenity value. These trees are not considered to be a material planning constraint and their removal will generally be seen as acceptable in order to facilitate development.

U Category: Trees of such low quality that their removal is recommended regardless of development proposals.

A1.1.2 Occasionally trees are borderline and do not fall neatly into one of the categories A, B or C. In such cases we apply a superscript (+/-) such that:

C⁺ Indicates borderline C/B, though Category C is deemed to be most appropriate.

B⁻ Indicates borderline C/B, though Category B is deemed to be most appropriate.

A1.1.3 The British Standard suggests that each of the A, B and C categories may be further subdivided (A1, A2, A3, B1, B2, B3 etc) such that subcategory 1 denotes mainly arboricultural values, subcategory 2 denotes mainly landscape values and subcategory 3 denotes mainly cultural values (including conservation). Multiple subcategories may be used.

Our experience suggests that these subdivisions lack clarity and can be confusing. Within this report subcategories are **not** denoted. Where appropriate, the use of phrases such as 'Part of a formal group', or 'Has a high ecological value', or 'Offers good screening to the site' are incorporated into the observation section of the Tree Data Schedule. We believe this conveys all relevant landscape and cultural information without any confusion.

A1.1.4 **Tree Constraints Plan (TCP).** This indicates the position, crown spread, Retention Category and Root Protection Area of each tree. It is used to inform where development may proceed without causing damage to trees.



A1.1.5 Root Protection Area (RPA). This is the area around each tree likely to contain the majority of roots. It should ideally remain undisturbed to avoid a detrimental impact on tree health. For single stemmed trees It is calculated according to the formula “radius of RPA” = “12 x stem diameter”. For multiple-stemmed trees a more complex formula is used which may occasionally produce an RPA which seems inappropriately large relative to the trees canopy. This shape can then be modified to take into account site factors which influence rooting activity, e.g. foundations, soil type or impermeable surfaces. Where development works are proposed within the RPA they should be undertaken in a sympathetic manner to minimise root disturbance.

A1.1.5 Shade Constraints. The previous Standard (BS 5837 2005) suggested that shade constraints should be indicated on the TCP. This are denoted as a circle-segment drawn northwest to due east with a radius equal to the height of the tree. These do not represent the actual shade pattern which varies through the seasons. Rather, they indicate the area most shaded by the tree throughout the course of the year. Ideally habitable room windows should be located outside of these shade constraints. Where we consider it appropriate, we will include shade constraints information on our Impact Assessment Plan or Proposed Layout Plan.

A1.2 Stage 2: Arboricultural Impact Assessment

After the initial survey and the production of the Tree Constraints Plan, arborists and designers are encouraged to work together to establish a design proposal with minimal impact on the high quality trees. An assessment should be made of all possible impacts including the impact that the trees may have upon the proposal. The arborist may recommend mitigation strategies to minimise these impacts and help achieve a more harmonious juxtaposition between buildings and trees.

A1.3 Stage 3: Arboricultural Method Statement

This type of report specifies the measures necessary to protect trees against damage from construction activity. The Method Statement should be written in a manner that it may be conditioned and enforced by the local authority upon granting of planning permission. The site manager should be familiar with all aspects of the Method Statement and should ensure that all persons working on the site are aware of those aspects which appertain to their work. This includes service installation engineers and operators of plant machinery.



Appendix 2: Explanation of Tree Data & Glossary

This section explains the terms used in the **Tree Data Schedule** (see Section 3 and Appendix 6).

A4.1 General Observations

A4.1.1	Numbering System:	Each item of vegetation has its own unique number prefixed by a letter such that T1=Tree 1, G2=Group 2, H3=Hedge 3 and W4=Woodland 4, S5=Shrub 5.
A4.1.2	Age Categories:	
	Young	Usually less than 10 years old.
	Semi-Mature	Significant future growth to be expected, both in height and crown spread (typically below 30% of life expectancy).
	Early-Mature	Full height almost attained. Significant growth may be expected in terms of crown spread (typically 30-60% of life expectancy).
	Mature	Full height attained. Crown spread will increase but growth increments will be slight (typically 60% or more of life expectancy).
	Veteran	A level of maturity whereby significant management may be required in order to keep the tree in a safe condition.
	Over Mature	As for veteran except management is not considered worthwhile.
A4.1.3	Species:	Common names and Latin names are given.
A4.1.4	Height:	Measured from ground level to the top of the crown.
A4.1.5	Stem Diameter:	Taken at 1.5m above ground level where possible. On multi-stemmed trees this measurement may be taken at ground level, though usually an indication of the number of stems and average diameter is given, e.g. 3 x 30cm.
A4.1.6	Crown Height:	Measured from ground level to the height at which the main crown begins. Where the crown is unbalanced it is measured on the side deemed to be most relevant. This is usually the side facing the area of anticipated development.
A4.1.7	Tree Diagram:	This scaled drawing is computer generated based on measurements taken for stem diameter, crown height and spread, and overall height. It is designed to help the reader rapidly assess the data. It is not an accurate representation of the form of the tree.
A4.1.8	Crown Spread:	Measured N, E, S & W, taken from the centre of the stem and usually rounded up to the nearest metre.
A4.1.9	Observations:	If a tree's position is considered to be relevant it will be commented upon (e.g. overhanging a children's play area). Tree form and pruning history are also recorded along with an account of any significant defects. Defects and descriptive terms are dealt with in more detail at the end of this section.
A4.1.10	Recommendations:	Usually based on any defects observed and intended to ensure that the tree is in an acceptable condition.
A4.1.11	Priority Scale:	Depending upon the threat posed by the tree, and the likelihood of failure, recommendations should be carried out according to the following priority scale:
	Urgent	To be carried out as soon as possible.
	Very High	To be carried out within 1 month.
	High	To be carried out within 3 months.
	Moderate	To be carried out within 1 year.
	Low	To be carried out within 3 years.
A4.1.12	Inspection Frequency:	An interval of 6 months, 1 year, 1.5 years or 3 years is allocated before the next inspection is due. Wherever practical, consideration should be given to seasonal changes so that deciduous trees are not always surveyed in winter when they have no leaves, or in summer when leaves may obscure branches within the upper crown.
A4.1.13	Vigour:	An indication of growth rate and the tree's ability to cope with stresses:
	High	Having above average vigour.
	Moderate	Having average vigour.
	Low	Having below average vigour.
	Very Low	Tree is struggling to survive and may be dying.
A4.1.14	Physiological Condition:	
	Good	Healthy and with no symptoms of significant disease.
	Fair	Disease present or vigour is impaired.
	Poor	Significant disease present or vigour is extremely low.
	Very Poor	Tree is dying.
A4.1.15	Structural Condition:	
	Good	Having no significant structural defects.
	Fair	Some defects observed though no high priority works are required.
	Poor	Significant defects found. Tree requires monitoring or remedial works.
	Very Poor	Major defects which will usually require significant remedial works or tree removal.
A4.1.16	Amenity Value:	
	Very High	Exceptional specimen, observable by a large number of people.
	High	Attractive specimen, observable by a significant number of people.
	Moderate	One of the above factors is not applicable.
	Low	Unattractive specimen or largely hidden from view.
A4.1.17	Life Expectancy:	The estimated number of years before the tree may require removal. Classified as (<10), (10 – 20), (20 – 40), or (40+).
A4.1.18	Retention Category:	These are explained in detail in Appendix 1.

A4.2 Evaluation of Defects

A4.2.1 Cavities, wounds, deadwood etc are all evaluated as follows:

Major	Such that structural integrity is, or will become, compromised and the tree is, or will inevitably become, hazardous.
Significant	A defect that may over time become a major defect, though not necessarily so. This will depend on the vigour of the tree and its ability to deal with decay etc.
Minor	A defect that is not likely to compromise the tree's structural integrity.



General Glossary

Adaptive growth	In tree biomechanics, the process whereby wood formation is influenced both in quantity and quality by the action of gravitational forces and mechanical stresses on the cambial zone.
Aerobic	Conditions in which oxygen is freely available, or to biomechanical processes that depend on the presence of oxygen.
Anaerobic	A condition marked by the absence of oxygen; Generally such areas are unsuitable for normal life and growth of plant tissues. These sites tend to be populated by bacteria capable of surviving low oxygen conditions often associated with Slime Flux.
Arboriculture	The culture and management of trees as groups and individuals primarily for amenity and other non-forestry purposes.
Arborist	A person possessing the technical competence through experience and related training to provide management of trees or other woody plants in a landscape setting. Generally involved with the development or management of trees for visual amenity or land management rather than the growth of trees for product or profit.
Barrier zone	A layer within an annual increment of wood which contains abnormal xylem cells, laid down by the cambium in response to wounding or other trauma.
Body language	In trees, the outward display of growth responses and or deformation in response to mechanical stress.
Bole	Or Trunk, the main stem of a tree below its first major branch.
Bracket	A type of fruiting body produced by various fungal species, plate like to hoof like in shape and often a one sided attachment to the wood or bark.
Branch bark ridge	A ridged area located at the union of a branch to a trunk or stem.
Branch Collar	Trunk tissue that forms around the base of a branch between the main stem and the branch, or between a main branch and a lateral branch. As a branch decreases in vigour or begins to die, the collar usually becomes more pronounced and completely encircles the branch.
Brown Rot	Form of decay where cellulose is degraded, while lignin is only modified.
Buttress Root	Roots that emerge from the base of the tree stem, normally large and well developed that rapidly reduce in diameter to create the Root Plate this offers structural support for the tree. Buttress roots divide rapidly forming the connection between the stem and the transport roots.
Cabling Bracing	Installing cables within the crown of a tree to prevent collapse.
Callus	Undifferentiated cells often formed at the edges of recent injuries. This tissue quickly becomes differentiated, forming cells of the type characteristic of that position on the tree (e.g. forming wood, bark, roots, etc.) see wound response tissue.
Cambium	A thin layer of actively growing and dividing cells, located between the xylem (sapwood) and bark of a plant; the part responsible for radial growth of a tree stem or branch.
Canopy	The topmost layer of twigs and foliage in a woodland, tree or group of trees.
Canker	A localised area of dead bark and cambium on a stem or branch, caused by fungal or bacterial organisms, characterised by woundwood development on the periphery. This may be annual or perennial.
Cavity	An open and exposed area of wood, where the bark is missing and internal wood has been decayed and dissolved.
Chlorotic	Also Chlorosis. A condition of the plant marked by yellowing of normally green foliage, often indicating nutrient deficiency or plant dysfunction.
Clinometer	Devices that measures vertical angles, and provides direct height measurements of objects by triangulation.
Co-dominant stems/trunk	Are forked branches or trunks of nearly the same size in diameter and lacking a normal branch union.
Compacted soils	Soils in which the air-space (oxygen space) has been reduced or eliminated, reducing water infiltration and percolation, reducing root presence and inhibiting new root development.
Compartmentalisation	The physiological process that creates the chemical and mechanical boundaries that act to limit the spread of disease and decay organisms.
Compression Failure	Localized buckling of fibres and other longitudinal elements produced by compression of wood along the grain; compression failures sometimes develop in standing trees.
Compression Strength	The ability of a material or structure to resist failure when subjected to compressive loading; measurable in trees using special drilling devices
Compression Wood	Abnormal wood formed on the lower side of branches and curved stems, with physical properties different from normal wood.
Conservation Area	In Great Britain, designated areas of architectural or historical interest, in which there are special procedures for planning applications. Additionally tree works cannot generally be undertaken without prior notification (Currently 6 weeks) to the relevant local planning authority. See also Tree Preservation Orders.
Core Sample	A sample of wood extracted from a trunk or branch, using an increment borer tool. The resulting core can be analysed for characteristics of growth, wood strength, structure, decay, and for species identification.
Crotch	The union of two or more branches; the auxiliary zone between branches.
Crown	The upper canopy of a tree, including upper trunk, scaffold branches, secondary branches, stems and leaves.
Crown lifting / raising	Crown Lift The removal of the lowest branches, usually to a given height. It allows more residual light and greater clearance underneath for vehicles etc.
Crown reduction	The reduction of a tree's height or spread while preserving its natural shape.
Crown thinning	The removal of some of the density of a tree's crown, usually 5-25% allowing more light through its canopy and reducing wind resistance.
Deadwood (noun)	Deadwood is often present within the crown or on the stems of trees. It may be an indication of ill health, however, it may also indicate natural growth processes. If a target is present beneath the tree, deadwood may fall and cause injury or damage and should be removed, otherwise deadwood can remain intact for conservation purposes (insects, fungi, birds etc.).
Deadwood (verb)	The removal of dead branches from a tree's canopy, usually of a specified size (in diameter).
Decay	Progressive deterioration of organic tissues, usually caused by fungal or bacterial organisms, resulting in loss of cell structure, strength, and function. In wood, the loss of structural strength.
Decay Detection	The assessment of decay within a tree has been traditionally difficult, but recent advances have made it possible to achieve accurate representations of the internal section of a tree in both 2D and 3D, removing doubt over the condition of the tree and allowing accurate management decisions.
Defect	In relation to tree hazards, any feature of a tree which detracts from the uniform distribution of mechanical stress, or which makes the tree mechanically unsuited to its environment.
Defoliation	The losing of plants foliage.
Dieback	Progressive death of buds, twigs and branch tissues, on individual limbs resulting in Deadwood, or throughout the canopy,



	extreme cases can result in Stag Heading.
Dripline	A projected line on the ground that corresponds to the spread of branches in the canopy; the farthest spread of branches.
Epicormic shoots	Fast growing, weakly attached shoots/branches that often grow as a response to stress factors upon a tree or branch removal.
Failure	In connection with tree hazards, a partial or total fracture within the wood tissue or loss of cohesion between roots and soil. (In total failure affected parts will snap or tear away completely, Partial failure there is a crack or deformation, which results in an altered distribution of mechanical stress.
Feeder Roots	Fine fibrous Water and nutrient absorbing roots located in the outer root system.
Flush-Cut	In trees and shrubs, a pruning cut close to the parent stem, which removes the branch bark ridge.
Foliage	The live leaves or needles of the tree; the plant part primarily responsible for photosynthesis.
Formative pruning	The trimming of a tree to remove weaknesses and irregularities which may lead to problems. The formative pruning operation is aimed at reducing the potential for future weaknesses or problems within the tree's crown.
Gall	An abnormal, disorganized growth of plant tissues, caused by parasitic or infectious organisms such as insects, fungi, bacteria, or viruses.
Girdling	In woody plants, any form of damage that destroys the bark and / or the Cambium all the way around the stem, branch or root, normally resulting in death of the damaged section.
Girdling Root	In woody plants, a root that grows across the buttress, or across other roots, eventually causing constriction of the radial growth.
Growth Increment	The incremental growth added as new annual ring develops each season over existing wood. This is seen as (growth) rings in cross-sections of wood.
Hazard beam	An upwardly curved branch in which strong internal stresses may occur without the compensatory formation of extra wood (longitudinal splitting may occur in some cases).
Heartwood	Inner non functioning tissues that provide structural support to trunk.
Heave	In relation to shrinkable clay soils, expansion due to rewetting of a volume of soil previously subjected to the removal or water by plant / trees following felling or root severance. Also in relation to root growth, the lifting of pavements and other structures by radial expansion. Also in relation to tree stability, the lifting of one side of a wind rocked root plate.
Herbicide	A chemical compound that causes the death of a plant.
Included Bark	Bark that becomes embedded in a crotch between branch and trunk or between co-dominant stems, usually found in narrow or tight crotches, and causes a weak structure.
Increment Borer	A tool that cuts and extracts a narrow cylinder of wood from a tree for analysis of the wood tissue and growth increments.
Leader	The primary terminal shoot or trunk of a tree.
Limb	A large lateral branch growing from the main trunk or from another larger branch.
Lion Tailing	Often the result of poor pruning practices; the main leader or branches are largely devoid of side branches, growth is restricted to the end of branches and is likely to suffer damage through end loading.
Lopping	In trees, a general term that related to the removal of branches from a tree.
Monitoring	Due to the relative life span of trees in relation to our own, long-term monitoring provides a valuable insight to the health of trees, identifying decline and or stabilisation and or improvement.
Mulch	A material laid over the root system of a tree to help conserve moisture within the soil. Additionally it may help control the development of weeds close to the tree.
Mycelium	A mass of growing filaments (hyphae) formed by fungi.
Mycorrhizae	The symbiotic relationship between roots and certain beneficial fungi. Mycorrhizae are the combined root / fungal growth.
Occluding tissue	The general term of wood, cambium and bark that develop around the site of a wound on a woody plant
Pathogen	A microorganism that causes diseases within another organism.
Phloem	The principle conductive tissue that the products of Photosynthesis are transported around the plant
Photosynthesis	The process were light energy is used to create energy (Carbohydrate) for use within the plant.
Pollard	A term for a pollarded tree.
Pollard head	The swollen section of branch / stem that forms behind the pollarding cut.
Pollarding	The complete or partial removal of the crown of a young tree so as to encourage the development of numerous branches either for amenity or historically as fodder, repeated management is required cyclically to maintain the feature
Prune or Pruning	Selective removal of woody plant parts of any size, using saws, Loppers, Secateurs, or other pruning tools.
Reaction Wood	Wood with distinctive anatomical characteristics, formed in parts of leaning or crooked stems and in branches to provide additional strength / support. In hardwoods, tension wood usually forms. In conifers, compression wood is usually found.
Reaction Zone	A zone normally darker than surrounding wood that denoted the boundary often a defensive one between functional sapwood and dysfunctional or decaying wood.
Re-grading	The raising or lowering of a soil profile from its original grade.
Remedial pruning	The removal of old stubs, deadwood, epicormic growth, rubbing or crossing branches and other unwanted items from the tree's crown.
Resistograph	Invasive decay detection technique whereby the resistance offered by the timber to a spinning probe is measured and plotted.
Rib	In tree body language, a long narrow, axial protuberance which often over lays a crack.
Ring Barking	Artificial Girdling of the stem, to result in the death of a tree. May be used in habitat creation were the retention of dead standing trees is required.
Rod Bracing / Bolting	Traditionally, this has relied upon the installation of steel rods or bolts through the stems or limbs, to reduce twisting or splitting of the wood. The installation of such features does require legal interpretation.
Root Barriers	Both Buildings and services can benefit from the installation of root barriers to protect a soil volume from the ingress of roots.
Root Collar	The basal area of the tree; transition zone from trunk to root. Also sometimes called trunk flare.
Root Plate	The primary support area for the tree; an area of the root system close to the base that structurally anchors the tree to the soil.
Root Rot	Either a general term for decay within the wood of the lower stem / buttress roots, or a disease in which the fine roots are killed.
Root System	The portion of the tree containing the root organs, including buttress roots, transport roots, and fine absorbing roots; all underground parts of the tree.
Root Zone	The area and volume of soil around the tree in which roots are expected. May extend to three or more times the branch spread of the tree, or several times the height of the tree.
Sail Area	That area or the tree subjected to wind load.



Sapwood	Xylem wood tissue, usually light in colour, representing the outer growth rings of the wood. Usually living, reactive wood tissue, in a healthy tree. See heartwood
Scaffold limbs / scaffold Branches	The branches that from the main network framework of the crown of a tree.
Senescent	A decline in growth and vigour due to age or stress factors.
Shrub	A woody plant that branches at or close to the ground level and so does not have a single stem.
Slime Flux	Relating to a toxic condition from the spreading of bacteria or their products from a source of infection; characterized by malodorous gases, or salt deposits upon the bark. If these products enter the sap stream, localised vessel necrosis can result, usually associated with anaerobic conditions.
Soft Rot	A kind of wood decay, were a fungi degrades cellulose within the cell wall, without causing overall degradation.
Soil Compaction	The compression of soil, causing a reduction of pore space and an increase in the density of the soil. Air is squeezed out and nutrients become locked. Tree roots cannot grow in compacted soil.
Sonic Decay Detection	Non invasive method whereby sound waves are passed through the tree and the speed is measured. Slow speeds indicate decay and a tomography picture representing the inner stem is produced.
Stag Heading	In a tree, a state of dieback were dead branches protrude beyond the current living crown.
Stress	In plant physiology, conditions were one or more physiological functions Are not working within normal parameters.
Stump Grinding	The removal of a tree stump using a specialist grinding machine.
Subsidence	In relation to vegetation, the removal of water by plant growth resulting in localised shrinkage in the soil volume.
Sucker	Same as sprout.
Suppressed	Trees which are dominated by surrounding vegetation and whose crown development is restricted from above.
Systemic	Affecting the whole plant or organism. A systemic compound is carried throughout the entire plant to all parts through the vascular system.
Target	Any person or object within reach of a falling tree or part of a tree that may be injured or damaged.
Target Pruning	The pruning of a branch were the wound affects only branch material, often result in a target shaped wound.
Tension Wood	Reaction wood typically formed on the upper side of limbs or curved stems; characterized by lack of cell wall lignifications (higher ratios of cellulose to lignin).
Tight Union / Tight Crotch	Also, narrow crotch. A crotch with a narrow angle between branches, often having included bark.
Tomography	The comparison of sound or stress waves through the tree allows the creation of a 2D or 3D representation of the internal structure of a stem or branch section and highlights areas of damage. Virtually non-injurious.
Topography	The configuration of surface features, including the vertical and horizontal relationships of the ground and other features.
Topping	Cutting large limbs back severely, without regard to form or habit of the tree. Cuts are usually made between lateral branch nodes. This practice is extremely injurious to trees, and promotes decay and structural weakness within the crown.
Tree	A woody plant that typically has a single stem, at maturity has a height of a least 4 metres and a stem diameter at breast height of at least 75mm.
Tree Preservation Order	In Great Britain, an order made by the local planning authority, were consent must be gained before undertaking all but exempt works to a tree.
Trunk Flare	The basal area of the trunk that flares or widens, and merges with the main roots. See root collar
Veteran Tree	Veteran trees are often found in large parks or estates and commonly affected by extensive decay or have been subject to extensive works. These trees are retained for historical importance and often pose greater risk than normal, which is generally justified. They need careful management and often propping or bracing to support them, some require fencing to limit access.
Vigour	Active, healthy growth of plants: ability to respond to stress factors.
Visual Tree Assessment (VTA)	An assessment of the mechanical condition of trees based upon their 'body language'. Trees are dynamic and respond to faults / decay / environmental factors in various ways, these responses can be indicative of structural integrity.
Wetwood	An infection caused by bacteria living inside the plant tissues. The bacteria ferment the plant fluids, resulting in death of nearby cells, and often causing exudations of fluid from the bark, often referred to as a Slime Flux.
White Rot	A kind if wood decay were a fungi attacks the lignin within the wood matrix
Wind loading	Forces placed upon tree canopy, branches, trunk and roots of a tree under windy conditions.
Wind Throw	The failure of a tree due to wind loading.
Witches Broom	A deformed or unusual growth of twigs from adventitious buds, caused by insects, disease, or dieback of twigs and buds.
Wood	Secondary Xylem; the main structural support and water conducting tissue of trees and shrubs.
Wound Response Tissue	Also Occluding Tissue, Wound Wood or Callus. Differentiated wood tissue that grows around the margins of a wound or injury.
Wound Wood	Wood with atypical features, formed in the vicinity of a wound and a term to describe the occluding tissues around a wound
Xylem	Plant tissues with special function of translocation of water and dissolved nutrients.



Appendix 3: Survey Methodology

- A2.1 Ground level visual surveys are carried out using the *Visual Tree Assessment* technique described by Mattheck and Broeler (1994) and endorsed by the Arboricultural Association (LANTRA Professional Tree Inspection course, 2007).
- A2.2 Structural condition is assessed by inspecting the stem and scaffold branches from all angles looking for weak branch junctions or symptoms of decay. Particular attention is paid to the stem-base. Cavities are explored using a metal probe in order to assess the extent of any decay. If this is not possible further inspection is recommended in the form of a climbed inspection or using specialist decay detection equipment.
- A2.3 The physiological condition is assessed by inspecting the stem, branches and foliage for symptoms of disease. The overall vigour of the tree is also taken into account.
- A2.4 Where significant defects are observed, recommendations are made according to a scale of priority in order to reduce the likelihood of structural failure. The position of the tree and its potential targets are taken into account.
- A2.5 Measurements are obtained using a diameter tape, clinometer, distometer and loggers tape. Where this is not practical measurements are estimated.
- A2.6 Some trees are surveyed as groups, though this is usually avoided close to areas likely to be developed.
- A2.7 Finally, a *Retention Category* is allocated as described in Appendix 1.1.1.

Appendix 4: Author's Qualifications

Qualifications & Experience of Ivan Button N.C.H. (Arb), FDSc (Arb), BSc (Hons), P.G.C.E., M. Arbor. A.

Construction

Between 1983 and 1995 Ivan worked primarily within the construction industry and received training in a broad range of practical building skills and general construction principles. During this time he obtained a BSc (Hons) at Leeds University followed by a P.G.C.E at The University of Wales.

Arboriculture

He obtained a NCH (Arboriculture) at the University of Lincoln and became a member of the Arboricultural Association. He then worked for an Arboricultural Consultancy for one year before establishing a tree surgery and landscaping business in 1998. In 2005 Ivan commenced full time employment with a leading Arboricultural Association approved consultancy and soon adopted a senior role responsible for five consultants.

He obtained a FDSc in arboriculture at the University of Lancashire, which he passed with distinction and is now a Director and Principal Consultant of Crown Consultants Ltd. He is accredited as a LANTRA *Professional Tree Inspector*. A qualification produced in association with the Arboricultural Association and generally recognised as appropriate for all levels of tree inspection.

He is a member of the Consulting Arborist Society and is listed within their areas of professional expertise for QTRA and as an expert witness.

Ivan is a professional member of the Arboricultural Association and the International Society of Arboriculture.

He is a licensed Quantified Tree Risk Assessment user.

Ivan has undertaken professional expert witness training and has been registered as a Sweet and Maxwell Checked Expert Witness since 2008.

Throughout 2009 acted as the principal Tree Officer for Barnsley Metropolitan Borough Council.

Ivan has produced several hundred Arboricultural Reports for the purposes of Development, Safety, Management, Mortgage, Subsidence, Mitigation and Litigation.



Appendix 5: Further Information

Building Near Trees – General

National Joint Utilities Group publication # 10 (1995), *Guidelines for the Planning, Installation and Maintenance of Utility Services in Proximity to Trees*. Downloadable at www.njug.demon.co.uk/pdf/NJUG%20Publication10.pdf

NHBC Standards Chapter 4.2., *Trees and Buildings*.

Horticulture LINK project 212. (University of Cambridge, 2004), *Controlling Water Use of Trees to Alleviate Subsidence Risk*.

Tree Planting and aftercare

See www.trees.org.uk/leaflets.php# for downloadable leaflets on selecting a garden tree, planting, aftercare and veteran tree management.

British Standards

BS 5837: 2012. Trees in Relation to Design, Demolition and Construction – Recommendations.

Bs 3998: 2010. Recommendations for Tree Work.

BS 3936: 1992. Nursery Stock. Part 1: Specification for Trees and Shrubs.

BS 3936: 1992. Nursery Stock. Part 10: Specification for Groundcover Plants.

BS 4043: 1989. Transplanting Root-balled Trees.

BS 8004: 1986. Foundations.

BS 8103: 1995. Structural design of Low-Rise Buildings.

BS 8206: 1992. Lighting for Buildings.

BS 8545:2014. Trees: From nursery to independence in the landscape – Recommendations

BS 3882: 2007. Topsoil.

BS 4428: 1989. General Landscaping Operations (excluding hard surfaces).

Permission to do Works to Protected Trees / Tree Law

Forestry Commission (Edinburgh, 2003), *Tree Felling – Getting Permission*. Country Services Division - Forestry Commission. Downloadable at [www.forestry.gov.uk/website/pdf/nsf/pdf/wgsfell.pdf/\\$FILE/wgsfell.pdf](http://www.forestry.gov.uk/website/pdf/nsf/pdf/wgsfell.pdf/$FILE/wgsfell.pdf)

Transport and the Regions (Department of the Environment, 2000), *Tree Preservation Orders, A Guide to the Law and Good Practice*. Downloadable at www.communities.gov.uk/publications/planningandbuilding/tposguide

C. Mynors, *The Law of Trees, Forests and Hedgerows* (Sweet and Maxwell, London, 2002)

Communities and Local Government website with numerous downloadable documents, from: <http://www.communities.gov.uk/planningandbuilding/planning/treeshighhedges/>

Lighting Levels

P.J. Littlefair, *B.R.E. 209: Site layout planning for daylight and sunlight A guide to good practice*. B.R.E. Bookshop, London.

British Standards Institution. Code of practice for day lighting. *British Standard BS 8206: Part 2* (1992).

Chartered Institution of Building Services Engineers. *Applications manual: Window Design* (London, 1987).

NBA Tectonics. A study of passive solar housing estate layout. *ETSU Report S-1126*. Harwell, Energy Technology Support Unit (1988).

I.P. Duncan; D. Hawkes, *Passive solar design in non-domestic buildings*. *ETSU Report S-110*. Harwell, Energy Technology.

P. J. Littlefair, *Measuring Daylight, BRE Information Paper 23/93 f3.50*. (Advises on measuring daylight under the real sky or an artificial sky, allowing for the changing nature of sky light).

High Hedges

Communities and Local Government website with numerous downloadable documents, from: <http://www.communities.gov.uk/planningandbuilding/planning/treeshighhedges/>

Tree Specific Websites

www.crowntrees.co.uk	Crown Consultants site containing useful information
www.trees.org.uk	Arboricultural Association
www.rfs.co.uk	Royal Forestry Society of England, Wales and N. Ireland
www.treehelp.info	The Tree Advice Trust
www.woodland-trust.org.uk	The Woodland Trust
www.treecouncil.org.uk	The Tree Council



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Arboricultural Report to BS 5837: 2012 for: Venture Park Limited

Crown Ref: 09185

Site: 68-70 Meopham Road, Mitcham

Author: Ivan Button

Date: 15th October 2015

Appendix 6: Tree Data Schedule and Site Plan(s)

The Tree Data Schedule and all plans accompanying this report follow this page. They are also provided as separate documents for ease of printing and referring between when viewing on a screen.

Reference	Age & Species	Height (m)	Crown Ht (m)	Diameter (cm)	Crown Spread (m)		Scaled Tree Diagram (m)	Notes	Recommendations		Vigour	Physiological Condition	Structural Condition	Amenity Value	Life Expectancy (Yrs)	Retention Category
					W	S			Priority	Inspect Freq (Yrs)						
T8	Mature Lombardy Poplar Populus 'Italica'.	18	8	100	2	2		Position: Situated on third party land. Form: Multi-stemmed at 2m with a narrow, upright habit. History: No evidence of significant pruning. Defects: No defects observed. Other: Limited inspection, dimensions estimated.	No action required.	3	Moderate	Fair	Fair	Moderate	20-40	B
									n/a	3	Fair	Fair	Moderate			
T9	Semi-Mature Oak Quercus robur.	12	4	21	2	0		Position: Situated within the rear garden. Form: Twin-stemmed at 2m with a compact crown. History: No evidence of significant pruning. Defects: No defects observed. Other: Poor form (high canopy).	No action required.	3	Moderate	Good	Fair	Low	40+	C
									n/a	3	Fair	Fair	Low			
T10	Semi-Mature Monterey Cypress Cupressus macrocarpa.	14	3.5	48	4	5		Position: Situated within the rear garden. Form: Twin-stemmed at 3.5m with a sparse crown. History: No evidence of significant pruning. Defects: Much dead foliage. Other: In decline. 2 stems at 36 and 31cm in diameter.	Remove.	N/A	Very Low	Very Poor	Fair	Low	<40	U
									Low	N/A	Fair	Fair	Low			
T11	Semi-Mature Lawson Cypress Chamaecyparis lawsoniana.	10	1.5	24	2	1		Position: Situated within the rear garden. Form: Single stemmed and vertical with a sparse crown. History: No evidence of significant pruning. Defects: No defects observed.	No action required.	3	Low	Fair	Good	Low	40+	C
									n/a	3	Good	Good	Low			
T12	Semi-Mature Apricot Prunus armeniaca.	4	1	21	2.5	5		Position: Situated within the rear garden. Form: Twin-stemmed at 1.5m with a low, wide spreading habit. History: Occasional pruning wounds due to crown lifting. Defects: No defects observed.	No action required.	3	Moderate	Good	Good	Low	40+	C
									n/a	3	Good	Good	Low			
G13	Semi-Mature Holly Ilex aquifolium.	4	2.5	18	1	1		Position: Situated within the rear garden. Form: 2 close growing specimens. History: Multiple pruning wounds due to crown lifting (healing slowly). Defects: No defects observed.	No action required.	3	Moderate	Good	Good	Low	10-20	C
									n/a	3	Good	Good	Low			
T14	Early-Mature Elder Sambucus nigra.	8	4.5	21	2	1		Position: Situated within the rear garden. Form: Single stemmed with a slight lean and a compact crown. History: Occasional pruning wounds due to crown lifting. Defects: No defects observed.	No action required.	3	Moderate	Good	Good	Low	40+	C
									n/a	3	Good	Good	Low			

Reference G = Group H = Hedge	Age & Species	Height (m)	Crown Ht (m)	Diameter (cm)	Crown Spread (m)			Scaled Tree Diagram (m)	Notes	Recommendations (Independent of any development proposals)		Vigour	Physiological Condition	Structural Condition	Amenity Value	Life Expectancy (Yrs)	Retention Category
					W	N	S			Priority	Inspect Freq (Yrs)						
T15	Semi-Mature Sycamore Acer pseudoplatanus.	10	3	23	2	4	5		Position: Situated within the rear garden. Single stemmed and leaning with a compact crown. History: No evidence of significant pruning. Defects: No defects observed. Other: Ivy prevented detailed inspection.	No action required.	3	High	Good	Good	Low	40+	C
T16	Semi-Mature Sycamore Acer pseudoplatanus.	6	4.5	30	1.5	1	1		Position: Situated on third party land. Twin-stemmed at 2m with a compact crown. Heavily reduced. Defects: No defects observed. Other: Limited inspection, dimensions estimated.	No action required.	3	Moderate	Good	Good	Low	40+	C
T17	Semi-Mature Privet Ligustrum ovalifolium.	4	2	14	3	3	0		Position: Situated within the front garden. Twin-stemmed at 0.5m with a compact crown (shrub). History: No evidence of significant pruning. Defects: No defects observed. Other: 2 stems at 8 and 12cm in diameter.	No action required.	3	Moderate	Good	Good	Low	40+	C



Photo 1



Photo 2



Photo 3



Photo 4



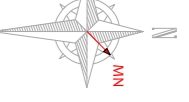
Photo 5



Photo 6



Photo 7



Tree Constraints Plan

(Facing Lawn)



Photo 8



Photo 9



Photo 10



Photo 11

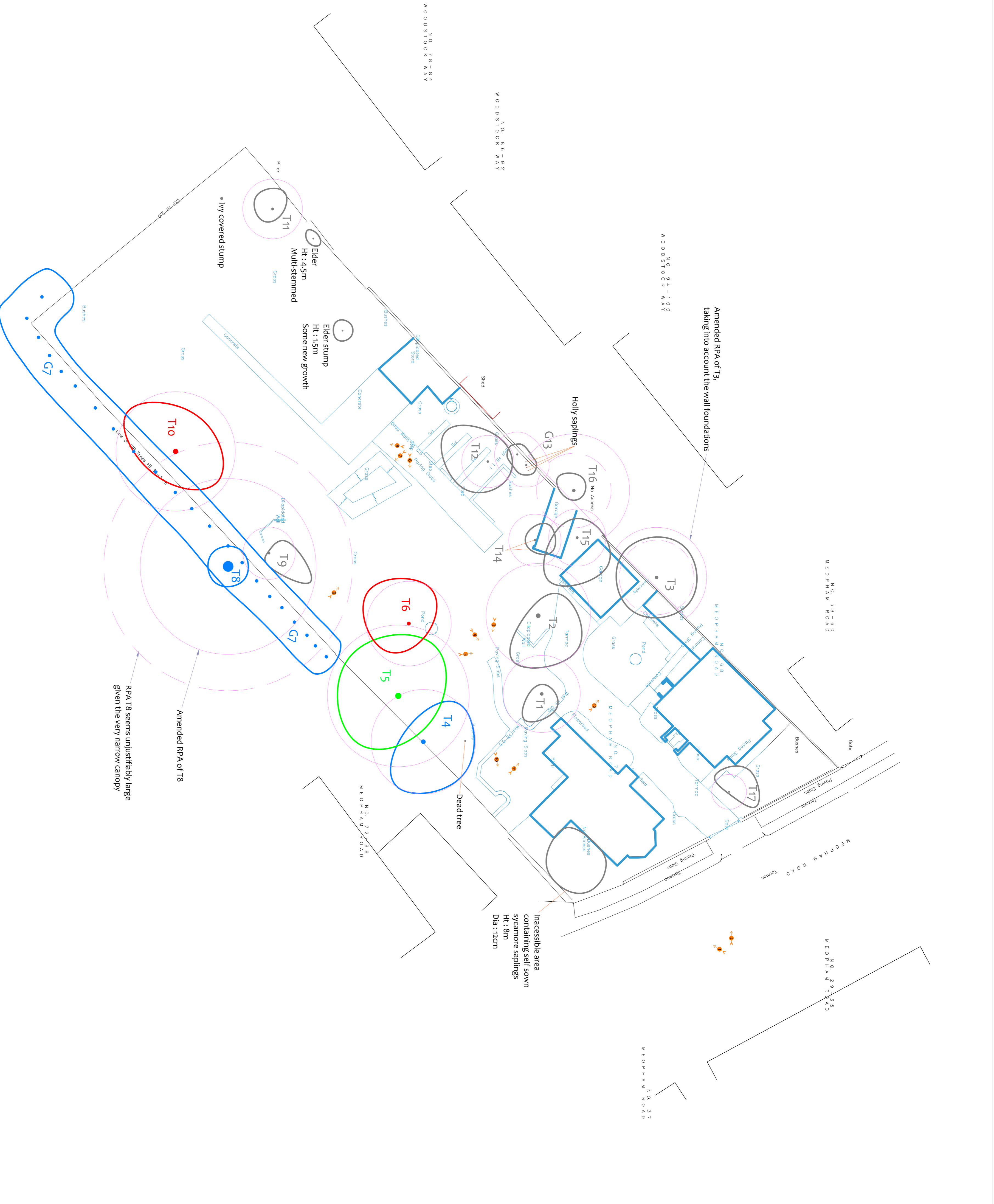


Photo 12

Drawing No:	CCL 09185	/TCP	Sheet 1
Title:	Tree Constraints Plan	(Facing Lawn)	
Site:	6879 Meopham Road	CH4 8UJ	
Scale:	0	5	10m
Scale:	1:200		Printer Size: A1

	Tree Retention Categories		Category A tree		Tree of moderate quality with a high potential for long-term retention.
			Category B tree		Tree of moderate quality with a high potential for long-term retention.
			Category C tree		Tree of moderate quality with a high potential for long-term retention.
			Category U tree		Tree of moderate quality with a high potential for long-term retention.

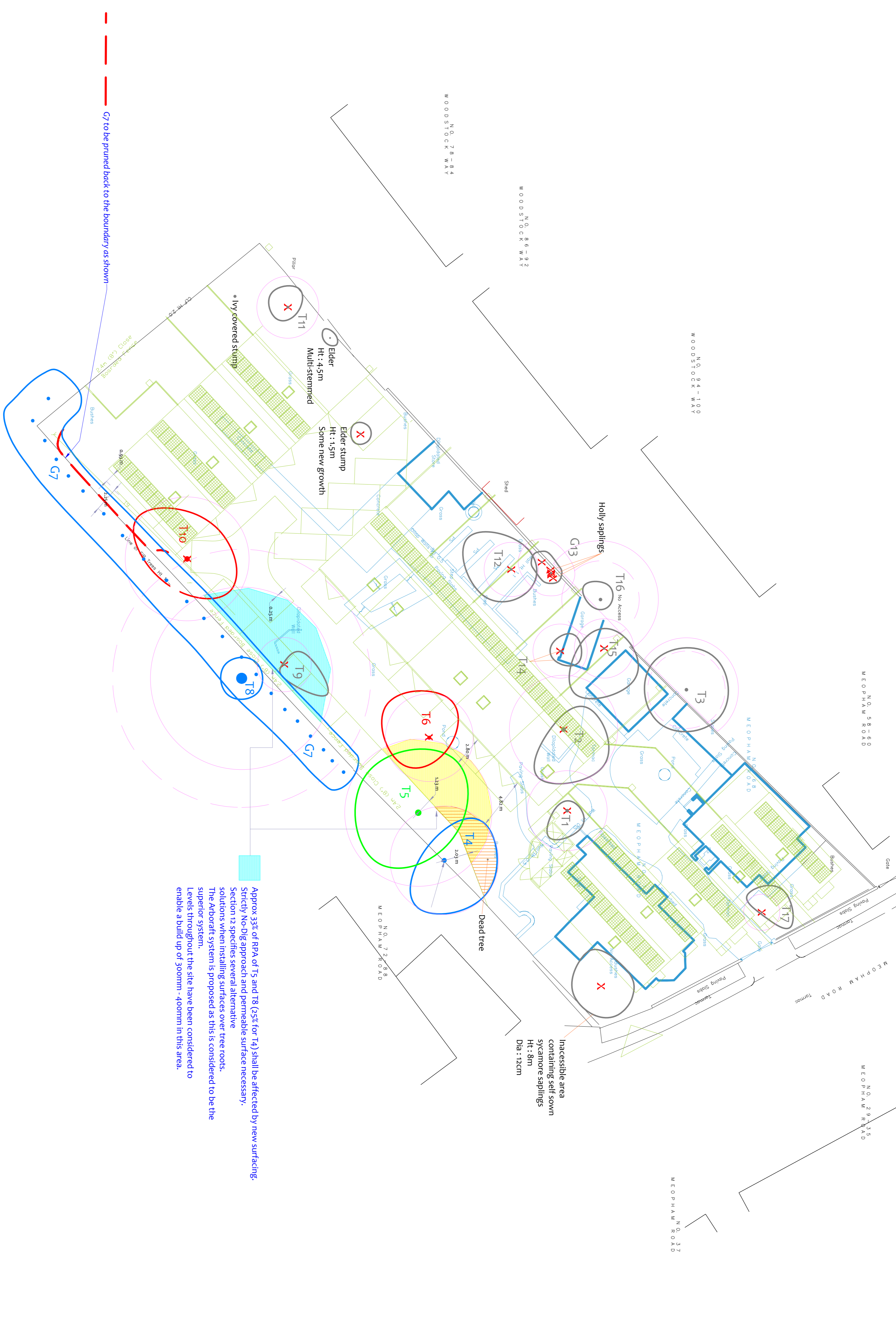
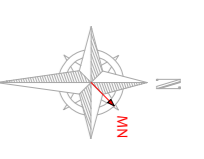
Notes of high quality trees to be retained are shown in green. Usually large trees with significant presence or value are marked. Note of moderate quality trees are shown in yellow. Note of low quality trees are shown in blue. Note of trees to be removed are shown in red. Note of trees to be retained are shown in green. Note of trees to be removed are shown in red. Note of trees to be retained are shown in green.



Tree Constraints Plan

Tree Ref.	Species	Height (m)	Root Protection Area (m)
T1	Apple	3.7	4.5
T2	Mulberry	7	8.5
T3	Oak	14	20
T4	Oak	14	20
T5	Apple	14	17
T6	Apple	5	7.2
T7	Apple	5	7.2
T8	Apple	12	15
T9	Apple	12	15
T10	Apple	14	17
T11	Apple	4	5
T12	Holly	4	5
T13	Holly	8	10
T14	Apple	8	10
T15	Sycamore	8	10
T16	Sycamore	6	7
T17	Prick	4	5

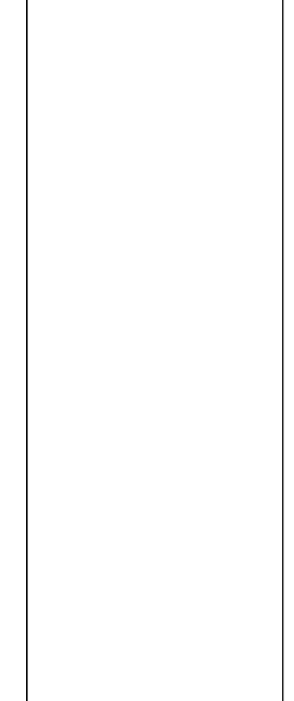
Notes:	
	Category A tree: Root Protection Area (radius = 1x stem diameter)
	Category B tree: Root Protection Area (radius = 1x stem diameter)
	Category C tree: Root Protection Area (radius = 1x stem diameter)
	Category U tree: Root Protection Area (radius = 1x stem diameter)
	Tree of moderate quality with a high potential for long-term retention.
	Tree of moderate quality with a high potential for long-term retention.
	Tree of moderate quality with a high potential for long-term retention.
	Tree of moderate quality with a high potential for long-term retention.



Approx 33% of RPA of T5 and T8 (25% for T4) shall be affected by new surfacing.
Strictly No-DIG approach and permeable surface necessary.
Section 12 specifies several alternative solutions when installing surfaces over tree roots.
The Arborist system is proposed as this is considered to be the superior system.
Levels throughout the site have been considered to enable a build up of 300mm - 400mm in this area.

G7 to be pruned back to the boundary as shown

Drawing No:	CCL 09185 / IAP Rev: 1
Title:	Impact Assessment Plan (Existing Layout with Proposals Overlay)
Site:	64-70 Meopham Road Ole 413
Scale:	1:1000 Paper Size: A1



Tree Retention Categories	
	Category A tree
	Category B tree
	Category C tree
	Category U tree

Notes of high quality trees with significant presence or value are not to be removed or pruned back to the boundary as shown.	
	Tree of moderate quality with a high degree of 30 year retention potential. Removal would result in a significant loss of amenity and biodiversity.
	Tree of moderate quality with a high degree of 30 year retention potential. Removal would result in a significant loss of amenity and biodiversity.
	Tree of moderate quality with a high degree of 30 year retention potential. Removal would result in a significant loss of amenity and biodiversity.
	Tree of moderate quality with a high degree of 30 year retention potential. Removal would result in a significant loss of amenity and biodiversity.

Tree Ref.	Species	Height (m)	DBH (cm)	Notes
T1	Apple	4	3.7	43
T2	Mulberry	7	5.0	81
T3	Oak	14	5.0	80
T4	Oak	14	5.0	80
T5	Oak	14	6.8	147
T6	Apple	5	4.1	52
T7	Apple	5	4.1	52
T8	London Plane	18	12.0	492
T9	Oak	12	2.5	20
T10	Monkey Cypress	14	5.8	104
T11	Multi-stemmed Elder	4	2.2	20
T12	Multi-stemmed Elder	4	2.2	20
T13	Holly	4	2.2	15
T14	Elder	8	2.5	20
T15	Sycamore	6	3.0	41
T16	Sycamore	6	3.0	41
T17	Pruned	4	1.7	9

3.7. Construction Exclusion Zones (shaded purple on the Tree Protection Plan) the following restrictions shall apply:

- No excavation shall be permitted within the zone.
- No construction activity whatsoever shall occur.
- No trees, shrubs or plants shall be removed or damaged within the zone.
- No trees, shrubs or plants shall be pruned within the zone.
- No chemicals or cement washings permitted.
- No excavation whatsoever.
- No trees shall be staked.
- No trees shall be permitted.

3.7.1.

Any part of the zone that requires removal shall be removed prior to the installation of the protective fencing or following all other major construction activity and the removal of the zone shall be the responsibility of the contractor. The zone shall be maintained by the applicant at all times.

3.8. Restricted Activity Zone A

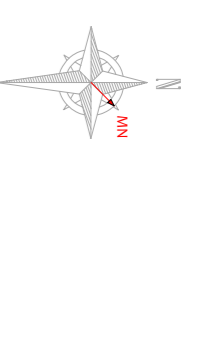
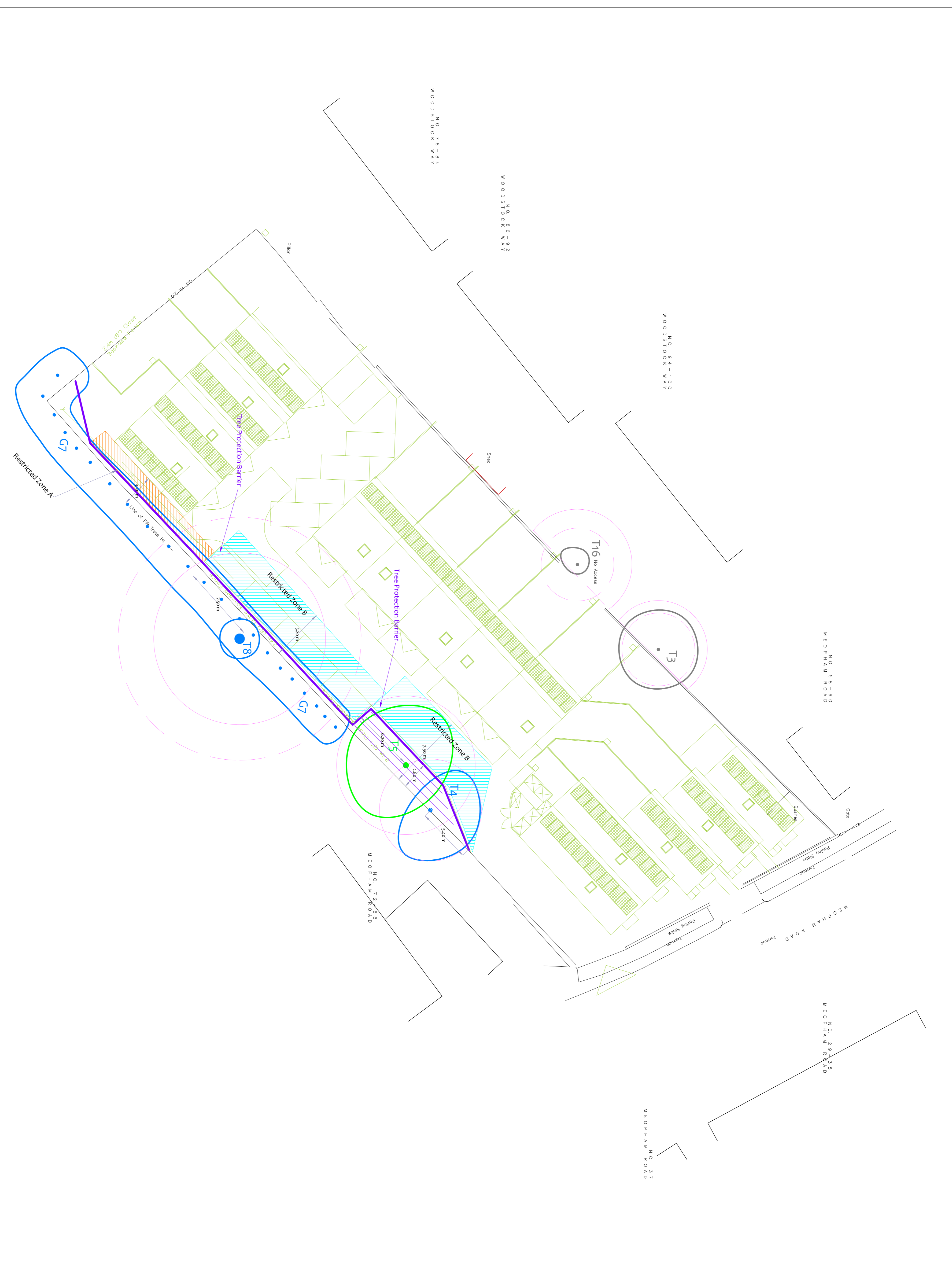
- Within these zones (indicated on the Tree Protection Plan) access will be required to perform the work specified in this report. Access shall be provided by the contractor.
- No permanent or temporary structures shall be erected without written approval from the local authority.
- No excavation shall be permitted within the zone.
- No trees, shrubs or plants shall be removed or damaged within the zone.
- No trees, shrubs or plants shall be pruned within the zone.
- No chemicals or cement washings permitted.
- No excavation whatsoever.
- No trees shall be staked.
- No trees shall be permitted.

3.9. Restricted Activity Zone B

- Within this zone (indicated on the Tree Protection Plan) it is proposed to install a new service.
- The following restrictions shall apply:
 - No excavation shall be permitted within the zone.
 - No construction activity whatsoever shall occur.
 - No trees, shrubs or plants shall be removed or damaged within the zone.
 - No trees, shrubs or plants shall be pruned within the zone.
 - No chemicals or cement washings permitted.
 - No excavation whatsoever.
 - No trees shall be staked.
 - No trees shall be permitted.

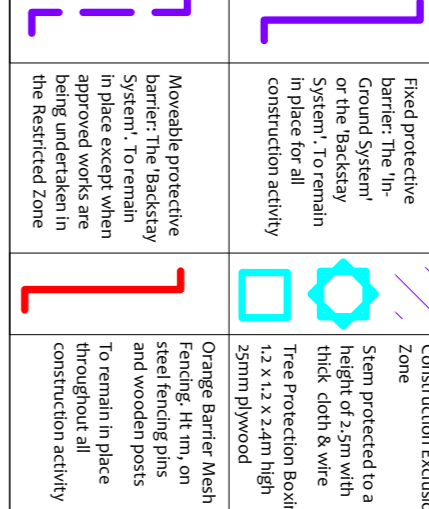
3.9.1. Restricted Activity Zone B

- The following restrictions shall apply:
 - No excavation shall be permitted within the zone.
 - No construction activity whatsoever shall occur.
 - No trees, shrubs or plants shall be removed or damaged within the zone.
 - No trees, shrubs or plants shall be pruned within the zone.
 - No chemicals or cement washings permitted.
 - No excavation whatsoever.
 - No trees shall be staked.
 - No trees shall be permitted.

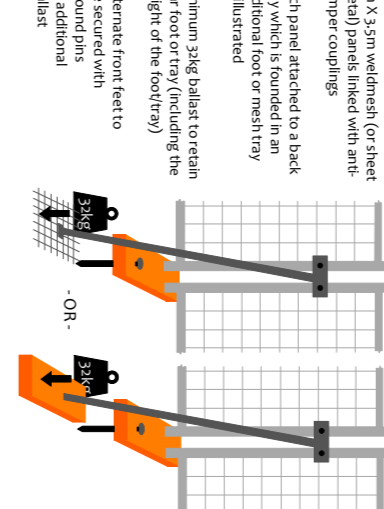


Tree Protection Plan

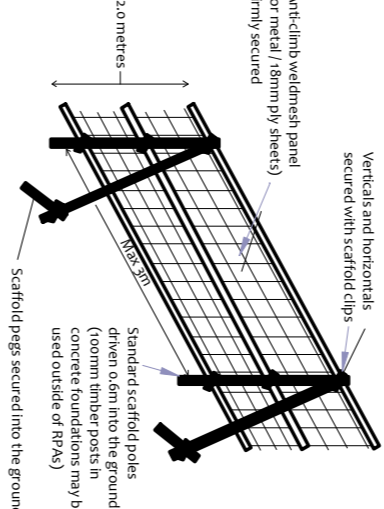
Tree Protection Barriers:



The Back Stay System



The 'In-Ground' System



Construction Exclusion Zone

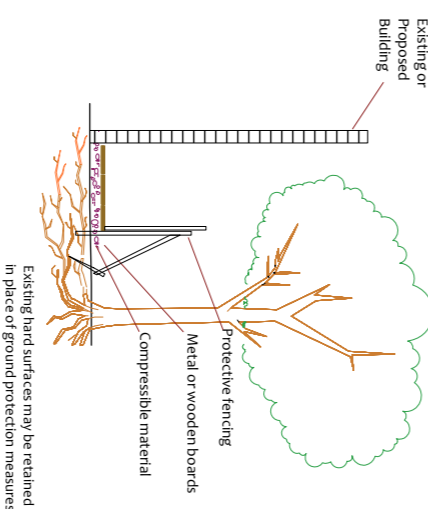
Within this zone the following restrictions shall apply:

- No excavation shall be permitted within the zone.
- No construction activity whatsoever shall occur.
- No trees, shrubs or plants shall be removed or damaged within the zone.
- No trees, shrubs or plants shall be pruned within the zone.
- No chemicals or cement washings permitted.
- No excavation whatsoever.
- No trees shall be staked.
- No trees shall be permitted.

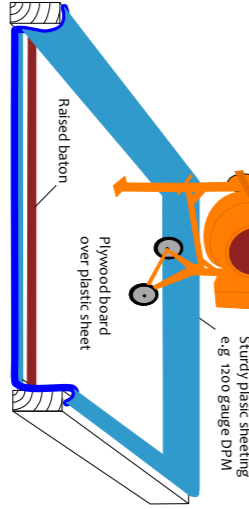
Restricted Activity Zones

Restrictions are detailed within the accompanying Method Statement

Ground Protection where specified in Restricted Zones



Dedicated Mixing and Cleaning Area

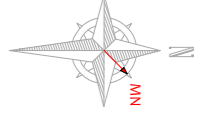


Drawing No:	CCL 09185	/TPP	Sheet 1
Title:	Tree Protection Plan (Adding Layer with Proposed Overlay)		
Site:	64-70 Meopham Road Oak Hill		
Scale:	0 5 10m	1:100	Project: AI

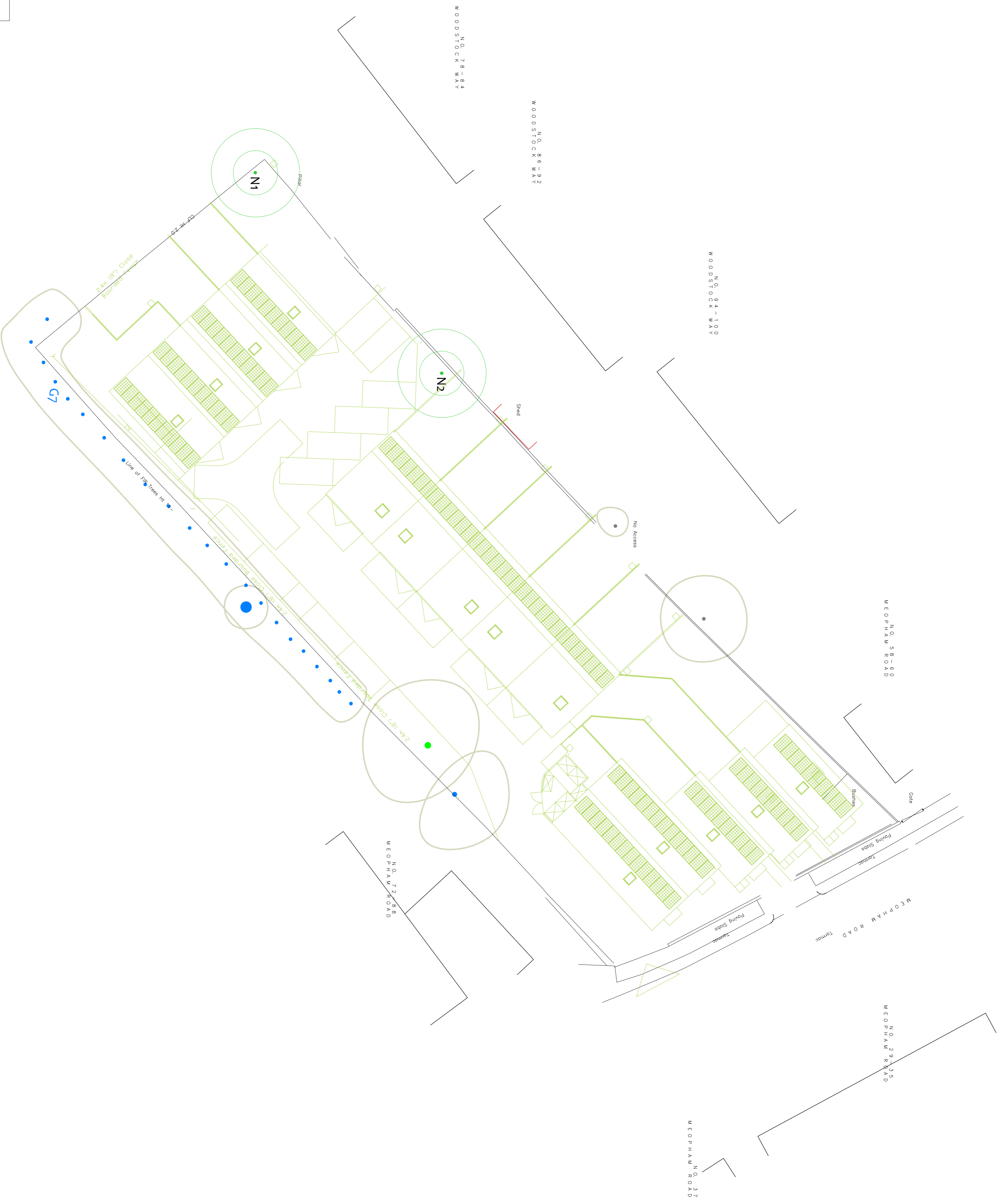
Tree Ref.	Species	Height (m)	DBH (cm)	Health	Notes
T1	Alder	4	3.7	4.3	6.8
T2	Malvern	7	5.0	8.0	8.9
T3	Oak	14	5.0	8.0	8.9
T4	Oak	14	6.8	14.7	12.1
T5	Malvern	5	4.1	5.2	7.2
T6	Alder	3	2.5	2.0	4.3
T7	Malvern	18	12.0	4.9	21.3
T8	Malvern	14	5.8	10.4	10.2
T9	Malvern	4	2.2	2.0	4.3
T10	Malvern	4	2.2	1.5	3.8
T11	Malvern	8	2.5	2.0	4.3
T12	Malvern	18	3.0	3.0	4.1
T13	Malvern	6	3.0	4.1	6.4
T14	Malvern	8	3.0	4.1	6.4
T15	Malvern	6	3.0	4.1	6.4
T16	Malvern	8	3.0	4.1	6.4
T17	Malvern	4	1.7	9	3.0

Tree Ref.	Species	Height (m)	DBH (cm)	Health	Notes
T18	Malvern	18	12.0	4.9	21.3
T19	Malvern	18	12.0	4.9	21.3
T20	Malvern	18	12.0	4.9	21.3
T21	Malvern	18	12.0	4.9	21.3
T22	Malvern	18	12.0	4.9	21.3
T23	Malvern	18	12.0	4.9	21.3
T24	Malvern	18	12.0	4.9	21.3
T25	Malvern	18	12.0	4.9	21.3
T26	Malvern	18	12.0	4.9	21.3
T27	Malvern	18	12.0	4.9	21.3
T28	Malvern	18	12.0	4.9	21.3
T29	Malvern	18	12.0	4.9	21.3
T30	Malvern	18	12.0	4.9	21.3

MIN - Measured North: Category spreads are sometimes measured to an approximate N (where necessary) and are not aligned to the true N.



Proposed Planting Plan



Drawing No:	CCL 09185 / PLP Rev: 1
Title:	Proposed Tree Planting Plan (After Vegetation Removal)
Site:	64-70 Meopham Road Old 183
Scale:	1:2000 0 5 10m Paper Size: A1

<p>Tree Protection Categories Schemes & Companies 3/2016</p> <p>Category A tree Category B tree Category C tree Category U tree</p>	<p>Proposed Tree Planting reference No, showing and (if available)</p>	<p>BS 5337 Root Protection Area (radius = 1.25 x stem diameter) Root Protection Area and dig amendment details to be conditions, e.g. presence of existing roots or building Root Protection Area having been amended to account for the situation</p> <p>T1 = Tree No. 1 G2 = Group No. 2 H3 = Hedge No. 3</p>
<p>MIN - Measured North: Canopy spreads are sometimes required to an approximate N Other more accurate, especially where rows of trees are not aligned N-S or E-W.</p>		

Proposed Planting Plan

PLANNING APPLICATIONS COMMITTEE

23rd May, 2016

Item No:

UPRN

APPLICATION NO.

DATE VALID

15/P3079

29/12/2015

Address/Site:

1 Sibthorp Road, Mitcham CR4 3NN

Ward:

Figges Marsh

Proposal:

Erection of an additional third and fourth floor extension to the existing residential building to provide 3 x 1 Bedroom and 2 x 3 Bedroom Self-Contained Flats

Drawing No.'s:

'Site Location Plan AM/246/01', 'AM.246.06 Proposed Plans', 'AM.246.07 Proposed Plans', 'AM.246.08 Rear and South Flank Elevations as Proposed', 'AM.246.09 Front and Flank Elevations as Proposed', 'AM.246.10 Front and Flank Sections as Proposed'

Contact Officer:

Felicity Cox (020 8545 3119)

RECOMMENDATION

Refuse planning permission

CHECKLIST INFORMATION

- Is a screening opinion required: No
- Is an Environmental Statement required: No
- Has an Environmental Statement been submitted: No
- Press notice: No
- Site notice: Yes
- Design Review Panel consulted: No
- Number of neighbours consulted: 50
- External consultations: 0
- Controlled Parking Zone: No

1. INTRODUCTION

- 1.1 This application is being brought to the Planning Applications Committee for determination at the request of Councillor Geraldine Stanford.

2. SITE AND SURROUNDINGS

- 2.1 The application site is a three storey with basement mixed-use building located at the corner of Sibthorp Road and London Road in the Mitcham Urban Village. To the rear, the site backs onto a car park area off Holborn Way, which is designated under the Merton Sites and Policies Plan (Site Proposal 69) for potential redevelopment for town centre and residential uses.
- 2.2 The building is two storeys at the frontage to London Road, with the third storey recessed behind the front façade so that it is not readily visible from the London Road streetscene. The building has flats at ground and second floor (nine flats) which are accessed from an entrance off Sibthorp Road. The first floor is occupied by the Mitcham Islamic Centre which is accessed from London Road.
- 2.3 The site's frontages to Sibthorp Road and London Road are pedestrian only zones (only delivery vehicles permitted on road).
- 2.4 Being located within the Mitcham Town Centre, the surrounding area is characterised by a mixture of town centre and residential uses. The surrounding buildings vary in height from two to four storeys with a combination of flat and hipped roofs, generally oriented towards the London Road high street.
- 2.5 The application site is not in a conservation area. The site is not located in a controlled parking zone and has a PTAL Rating of 4 (good).
- 2.6 The application site is designated within the Core Shopping Frontage and an Archaeological Priority Zone.

3. CURRENT PROPOSAL

- 3.1 The current proposal is to erect an additional third and fourth floor to the residential building comprising 3 x 1 Bedroom and 2 x 3 Bedroom Self-Contained Flats.
- 3.2 The third floor matches the existing building footprint of the second floor, and incorporates balconies to the eastern (London Road) and western (Holborn Way) elevations. The fourth storey has been designed as a loft level in the form of two new gabled roofs which will be connected by a lower set hipped roof above the stair core and communal lobby.
- 3.3 An internal courtyard has been provided from which the flats will be accessed off. The building will have 2 x 2 bed 3 person flats in the eastern side of the building with balconies oriented towards London Road, and 3 x 1 bedroom, 2 person flats in the western side of the building with balconies oriented towards the rear carpark and Holborn Way. The bedrooms for each flat will be located within the roof area, whilst the living/dining/kitchen and main bathrooms of the flats will be contained within the third floor.
- 3.4 Ten (10) additional bicycle spaces are proposed within the basement which is accessed from the internal hall. A new communal bulk bin store is proposed

within the ground level of the building accessed from Sibthorp Road. No other alterations are proposed to the ground level, and no alterations are proposed to the first and second floors of the building.

- 3.4 All units will utilise the existing point of access from Sibthorp Road.
- 3.5 Materials proposed include use of Eternit Slate to the new roof and rendered walls to match the existing.

4. PLANNING HISTORY

- 4.1 The site has the following relevant planning history:

14/P2964 - REPLACEMENT OF, AND ALTERATION TO, EXISTING GROUND WINDOWS AND DOORS (LINKED WITH THE PROPOSED CHANGE OF USE FROM OFFICE (CLASS B1(a))TO RESIDENTIAL (CLASS C3) UNDER PLANNING REFERENCE 14/P2776) - Grant Permission subject to Conditions

14/P2776 - PRIOR APPROVAL IN RELATION TO THE CHANGE OF USE OF GROUND FLOOR FROM OFFICE (USE CLASS B1(a)) TO 5 X SELF-CONTAINED FLATS (USE CLASS C3) - Prior Approval Granted

13/P2846 – PRIOR APPROVAL IN RELATION TO THE CONVERSION OF EXISTING SECOND FLOOR OFFICE SPACE [CLASS B1] INTO 4 x SELF-CONTAINED FLATS (CLASS C3) - Prior Approval Granted

10/P2628 - CHANGE OF USE OF FIRST FLOOR LEVEL FROM OFFICES (USE WITHIN CLASS B1) TO A PLACE OF WORSHIP (NEW MOSQUE) (USE WITHIN CLASS D1) Permission refused.

Reason for refusal:

The proposals would result in the unacceptable loss of employment (B.1) floor space in Mitcham Town Centre and would undermine the Council's objectives of safeguarding employment land and floor space for jobs, and adversely affect the prospects for the regeneration of the town centre, contrary to policies E.6 and L.14 of the Adopted Unitary Development Plan (October 2003).

10/P0988 - APPLICATION FOR CHANGE OF USE FROM JOB CENTRE (USE WITHIN CLASS A2) TO POLICE SAFER NEIGHBOURHOOD UNIT (USE WITHIN CLASS B1), INCLUDING NEW SHOPFRONT AND ROLLER SHUTTER, WITH REPLACEMENT SIDE WINDOWS AND TO THE REAR NEW BRICKWORK, A DOOR, LOUVRES AND ROLLER SHUTTERS - Grant Permission subject to Conditions

5. CONSULTATION

- 5.1 Fifty (50) neighbouring properties were consulted by letters and a site notice was displayed. Re-consultation was undertaken to notify of an amended proposal description. No objections were received.
- 5.2 Transport Officer: Provision of no off-street parking not considered to be a

severe issue. However, objected to proposal due to design of cycle parking being unsafe.

6. POLICY CONTEXT

6.1 NPPF - National Planning Policy Framework (2012):
Part 6 Delivering a wide choice of high quality homes
Part 7 Requiring Good Design.

6.2 London Plan Consolidated (2015).
3.3 Increasing housing supply;
3.4 Optimising housing potential;
3.5 Quality and design of housing developments.
5.3 Sustainable design and construction.
6.9 Cycling
7.4 Local character
7.6 Architecture

6.3 Merton Sites and Policies Plan (July 2014).
DM D2 Design considerations in all developments
DM D3 Alterations and extensions to existing buildings

6.4 Merton Core Strategy (2011).
CS 2 Mitcham Sub-Area
CS 7 Centres
CS 8 Housing choice;
CS 9 Housing provision;
CS 14 Design;
CS 15 Climate change
CS 18 Active transport
CS 20 Parking, servicing and delivery

6.5 Supplementary Planning Guidance:
Merton Council Supplementary Planning Guidance – Design (2004)
London Housing Supplementary Planning Guidance (2012)

7. PLANNING CONSIDERATIONS

7.1 The main planning considerations include assessing the principle of development, the need for additional housing and housing mix, design and appearance of the proposed building, the standard of the residential accommodation, the impact on residential amenity and impact on car parking and traffic generation.

Principle of Development

7.2 Core Planning Strategy Policy CS9 encourages the development of additional dwellings within residential areas in order to meet the London Plan target of 42,389 additional homes per year from 2015-2036 (Merton - 411 per year). The National Planning Policy Framework 2012 and London Plan policies 3.3 & 3.5 promote sustainable development that encourages the development of additional dwellings locations with good public transport accessibility.

- 7.3 Policies CS2 and CS 7 encourage a mix of appropriate uses that support the vitality and viability of new centres, and respects and improves the character of the local environment. CS 2 aims to improve the overall environment of the town centre by providing quality shopping, housing, community facilities, improving the quality and mix of homes.
- 7.4 The site has a PTAL rating of 4 which is considered to be good and is surrounded by a mixture of residential and commercial development. The building is currently used for primarily residential purposes.
- 7.5 Although the proposal would provide five additional flats to the existing residential building within a new roof extension, the Council requires new development to protect streetscene character in accordance with policies set out in various SPP and Core Strategy policies, and the London Plan 2015. Officers consider that for the reasons outlined below, the need for additional housing should not be given more weight than the negative impacts of the proposal and it is consequently considered unacceptable.

Character and Appearance

- 7.6 London Plan policies 7.4 and 7.6, Core Strategy policy CS14 and SPP Policies DMD2 and DMD3 require well designed proposals that will respect the appearance, materials, scale, bulk, proportions and character of the original building and their surroundings.
- 7.7 The site is located within the Mitcham Town Centre. The Draft Merton Borough Character Study states that the pedestrianised section of London Road, in which the subject site is located, retains an attractive architectural quality, and is an area in which new development should reinforce the existing character. This section of London Road features a mix of architectural styles ranging from more traditional buildings (such as the King's Arms and White Lion pubs) to contemporary mixed-use buildings (such as 1 Sibthorp Road and 205-211 London Road), with ground floor shopfronts oriented to the London Road frontage. Whilst the architectural style in this section of London Road is varied, the building height and scale is a relatively consistent three to four storeys, often with the upper storey accommodated within a gabled/hipped roof form.
- 7.7 The additional two storeys to the existing three storey building is considered to be a substantial addition that would significantly increase the massing of the building, resulting in a top heavy building that is not respectful or complementary of the design, height, scale, massing and form of the host building and the streetscene. The additions overall would not be subservient to the main body of the building and would appear as unduly bulky and increasingly incongruous, to the detriment of the streetscene. In particular, the extensions would be visually overbearing on the London Road streetscene by virtue of the narrow width of the pedestrianised high street and substantial increase in height and bulk proposed.
- 7.8 The design and scale of the resulting 5 storey building would not be in

keeping with the more modest 3-4 storey built form of this section of London Road. Although the applicants have made reference to the peak height of the roof matching the ridge height of 242-244 London Road, it is recognised that the roof of 242-244 has a central hipped roof over the main body of the building before stepping down to a lower ridge height to the rear of the building, overall having a lesser visual impact on the streetscene. The gabled design of the roof and substantial footprint of the building extensions would consequently have a significantly greater visual impact on the streetscene.

- 7.9 It is therefore considered that the proposal would fail to provide a high standard of design that would complement the character, height, massing, form and scale of the host building and the streetscene of London Road contrary to Policy DM D2 and DM D3.

Neighbouring Amenity

- 7.10 SPP policy DMD2 states that proposals must be designed to ensure that they would not have an undue negative impact upon the amenity of neighbouring properties in terms of loss of light, quality of living conditions, privacy, visual intrusion or noise.
- 7.11 Windows to the new flats have primarily been oriented to the front and rear elevations where there is sufficient separation distances from windows of surrounding buildings to ensure no loss of privacy will result. Windows have been proposed to the internal courtyard, however these are for the purpose of bathrooms and could be conditioned to be obscure-glazed so to maintain adequate privacy between units. The new windows to the northern elevation are adjacent to stairs and similarly could be conditioned to be obscure-glazed to restrict overlooking to the flats to the north. The orientation and design of the balconies is such that they would not overlook each other.
- 7.12 The building to the north of the site at 242-244 London Road is located on the opposite side of Sibthorp Road. Based on historical plans of the building, it is understood that all windows on the southern flank elevation are to habitable rooms of flats located on the first, second and third levels (ground level used for commercial purposes), and form the primary windows to these habitable spaces. A BRE assessment using the 25 degree test indicates that the windows on the third floor would only just maintain an acceptable degree of daylight and sunlight, however the proposal would impede access to daylight and sunlight from the habitable rooms of flats on the first and second floors.
- 7.13 Sibthorp Road is a narrow carriageway, and consequently will only provide a separation distance of approximately 6 metres between the subject building and 242-244 London Road. The resulting height and bulk that would result from the proposal is considered to be visually intrusive on the outlook of the flats at 242-244 London Road given this minor separation distance, particularly those on the lower floors. Considered collectively with the loss of daylight/sunlight that would result, the proposed additional storeys are considered to be harmful to the amenities of the occupiers of the adjoining flats contrary to Policy DMD2.

Standard of residential accommodation

- 7.14 Policy DM D2 and DM D3 of the Site and Polices Plan states that all proposals for residential development should safeguard the residential amenities of future occupiers in terms of providing adequate internal space, a safe layout and access for all users; and provision of adequate amenity space to serve the needs of occupants. Policies CS 8, CS9 and CS14 within the Council's Adopted Core Strategy [2011] states that the Council will require proposals for new homes to be well designed.
- 7.15 Policy 3.5 of the London Plan 2015 states that housing developments should be of the highest quality internally and externally and should ensure that new development reflects the minimum internal space standards (specified as Gross Internal Areas) as set out in Table 3.3 of the London Plan (Amended March 2016).
- 7.16 The proposed two bedroom, three person flats will have gross internal floor areas of 74 and 75 square metres. This exceeds the London Plan minimum requirement of 70 square metres. The proposed 1 bedroom, 2 person flats will have a gross internal floor area of 62 square metres or greater, which will also exceeds the London Plan minimum requirements of 58 square metres.
- 7.17 The proposed floor areas for all double bedrooms exceeds the London Plan requirement of 11.5 square metres, and the proposed single rooms exceed the London Plan requirement of 7.5 square metres. It is considered that all rooms will have reasonable outlook and access to daylight.
- 7.18 SPP policy DMD2 and London Plan Housing Standards requires that for all new flats, the Council will seek a minimum of 5 square metres of private outdoor space for 1-2 person flatted dwellings and an extra 1 square metre for each additional occupant. All flats have been provided with a private balcony that meets the minimum area requirements specified under the London Plan.
- 7.19 It is therefore considered that the proposed flats would provide a satisfactory standard of accommodation in accordance with the above policy requirements.

Transport and parking

- 7.20 Core Strategy policy CS20 requires that development would not adversely affect pedestrian or cycle movements, safety, the convenience of local residents, on street parking or traffic management.
- 7.21 Sites and Policies Policy DM T3 states that development should only provide the level of car parking required to serve the site taking into account its accessibility by public transport (PTAL) and local circumstances in accordance with London Plan standards unless a clear need can be demonstrated.
- 7.22 The site is PTAL 4 and is outside a parking control zone.

7.23 No off-street parking is proposed. LMB Transport Officers have commented that provision of one space per 3-bedroom unit would be desirable. However, as there are no available on street parking opportunities in the immediate vicinity and the site is well-connected to public transport, the provision of no off-street parking is not considered to be a severe issue as owning a vehicle would not be attractive to future residents. The provision of no off-street parking is therefore considered to be acceptable in this instance.

Refuse storage and collection

7.24 Policy CS20 of the Core Strategy [July 2011] states that the Council will seek to implement effective traffic management by requiring developers to incorporate adequate facilities for servicing to ensure loading and unloading activities do not have an adverse impact on the public highway.

7.25 The submitted plans show the provision of refuse stores within the ground level of the building, which is considered to be an improvement on the existing scenario where bins are stored outside the Sibthorp Road façade. This is considered to be unobtrusive and will facilitate safe refuse collection from the street in accordance with policy.

Cycle storage

7.26 Core Strategy Policy CS 18 and London Plan policy 6.9 call for proposals that will provide for cycle parking and storage. A new 1 bedroom flats would be required to provide 1 bicycle space, and new two bedroom flats would be expected to provide a store for at least 2 bicycles.

7.27 The proposed plans show the provision of storage for 8 additional bicycles within the existing basement which is accessible from the ground floor shared corridor.

7.28 Whilst the provision of 8 spaces will exceed London Plan requirements, LBM Transport Officers have objected to the proposal based on the location of bicycle parking within the basement. As the store can only be accessed by stairs, the location of bicycle parking would be unacceptable from health and safety grounds and would therefore be considered contrary to policy. Officers consider this matter could be resolved by the imposition of a condition and it may be unreasonable to cite this as a reason to withhold permission.

Developer Contributions

7.29 Policy CS.8 of the Merton LDF Core planning Strategy (2011) considers the Council's requirements for schemes of less than 10 units to contribute to the provision of affordable housing within the borough.

7.30 Based on the median of the open market values provided by the applicant and using the Council's calculator it is estimated that the scheme could deliver an off-site affordable housing contribution of £94,995. Although the application included three estimates from local estate agents, the absence of a draft unilateral undertaking to deal with the requirements of policy CS 8 means that it is considered that the proposal currently fails to accord with this policy.

8. CONCLUSION

- 8.1 The proposal would provide five additional flats to the existing residential building in an area of good public transport access and local services. However, it is considered that the design, massing, height, form and scale of the proposed additional two storeys would fail to respect or complement the character of the host building and London Road streetscene, and would be detrimental to the amenities of neighbours due to loss of daylight and sunlight, and visual intrusion.
- 8.2 In view of these planning considerations, the desire to provide additional housing is not considered sufficient to set aside the detrimental impact of the proposal on the amenity of neighbours and the streetscene, and it is therefore recommended that permission be refused.

RECOMMENDATION:

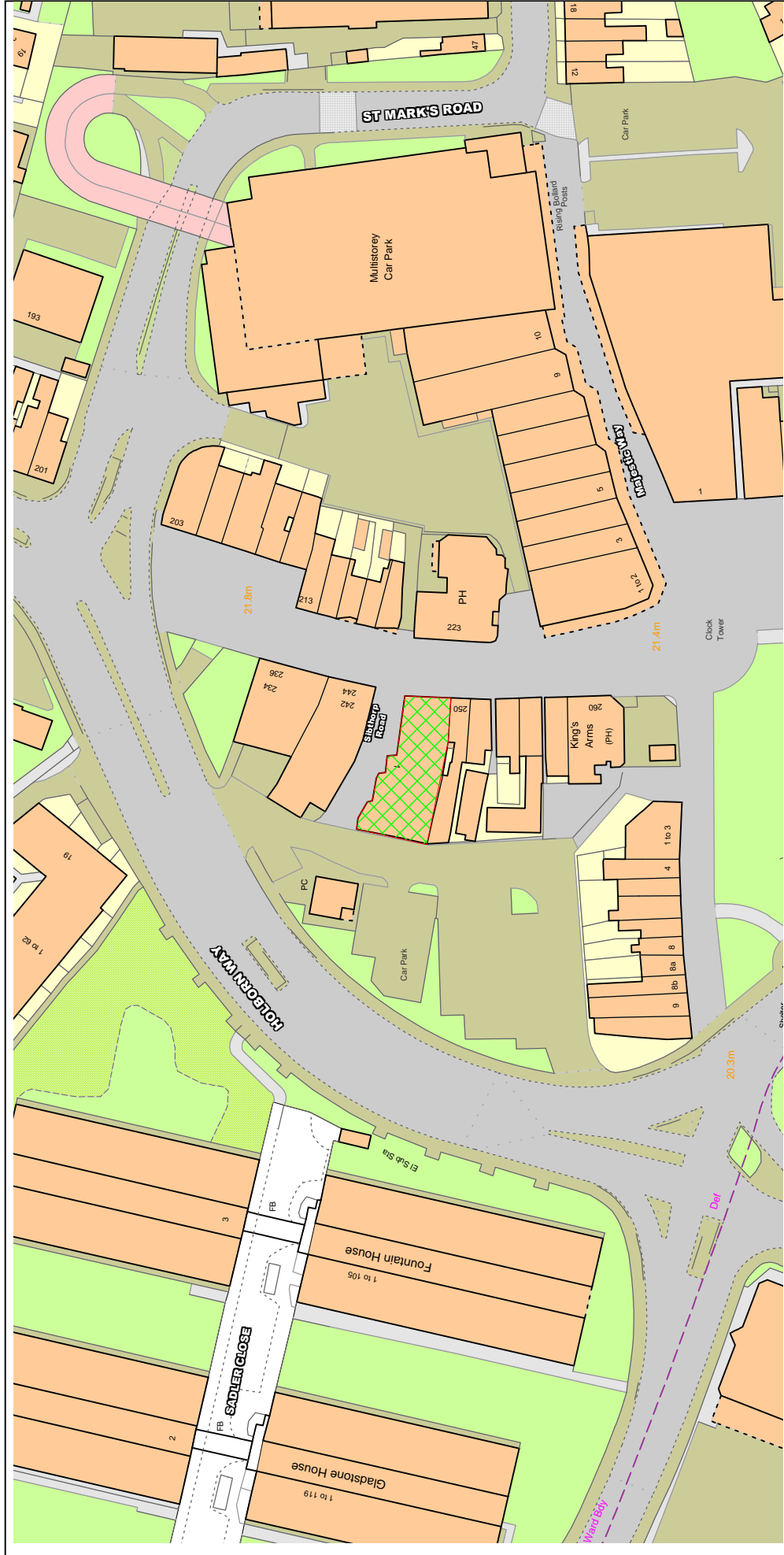
Refuse planning permission for the following reasons:

The proposed additional third and fourth floor by virtue of its bulk, form, scale, height and design would constitute an obtrusive and incongruous form of development that would detract from the appearance of the original building and be out of keeping with, and detrimental to, the visual amenity and character of the London Road streetscene, and would be harmful to the amenity of neighbours in terms of loss of daylight and sunlight and visual intrusion. Therefore, the proposal would be contrary to London Plan policies 7.4 and 7.6, Merton LDF Core Planning Strategy policy CS14 and Merton SPP policies DMD2 and DMD3.

The proposed development would fail to contribute to meeting affordable housing targets and in the absence of a legal undertaking securing a financial contribution towards the delivery of affordable housing off-site would be contrary to policy CS8 of the Merton LDF Core Planning Strategy (2011).

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NORTHGATE SE GIS Print Template



Text Details 1 Sibthorp Road

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General Notes

Key:

— Site boundary

— site under same ownership

No.	Revision/Issue	Date
A	Planning amendments	24/08/15

AM Surveying Property Services Ltd.
 6 Woodlands Parade,
 Woodlands Road, Dilton,
 Aylesford, Kent, ME20 6HE.
 Tel: 01622 882244.
 E-Mail: office@amsp.s.co.uk



Project Name and Address

1 Sibthorp Road,
 Mitcham,
 CR4 3NN.

Title

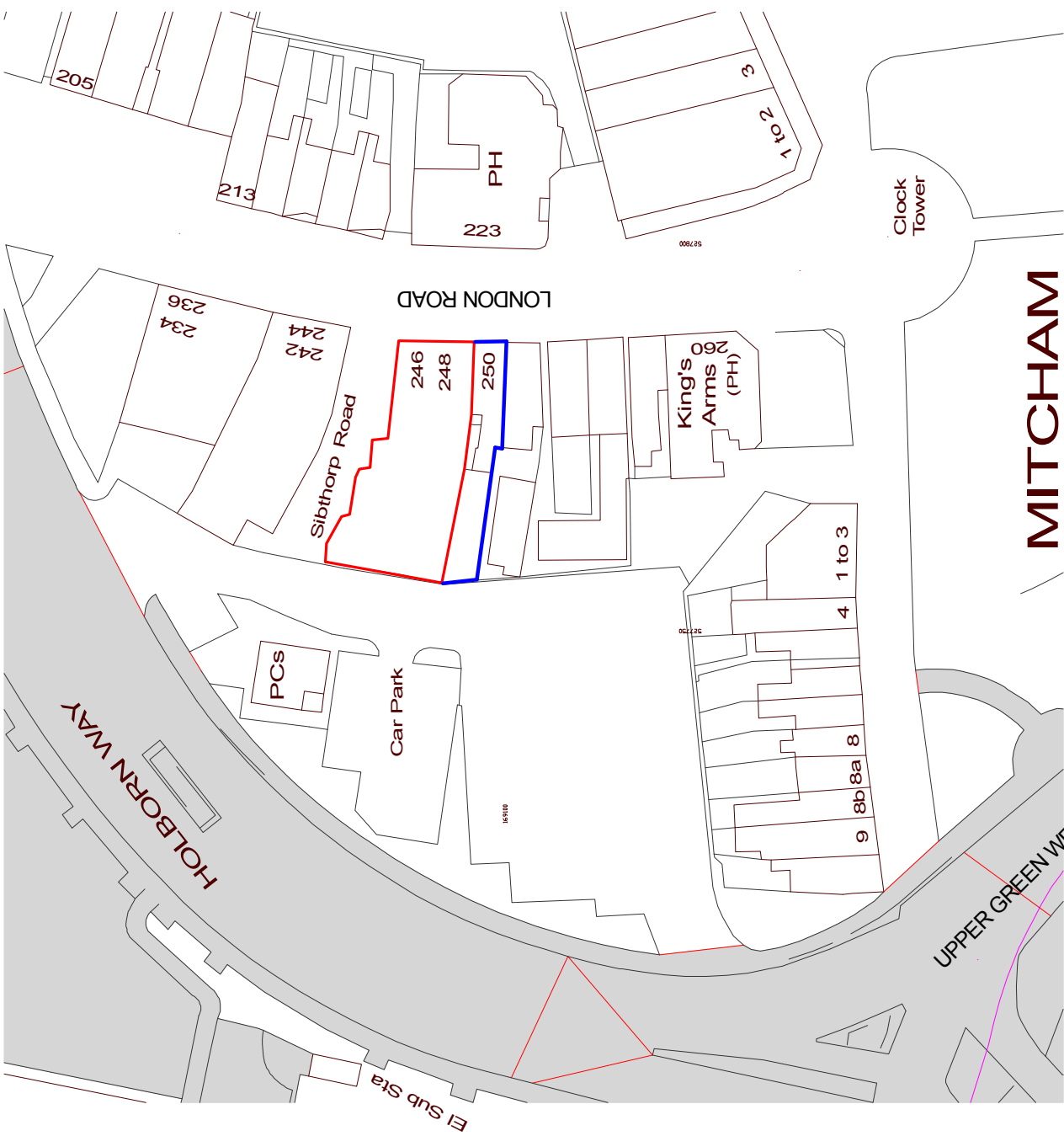
Site Location Plan

Sheet

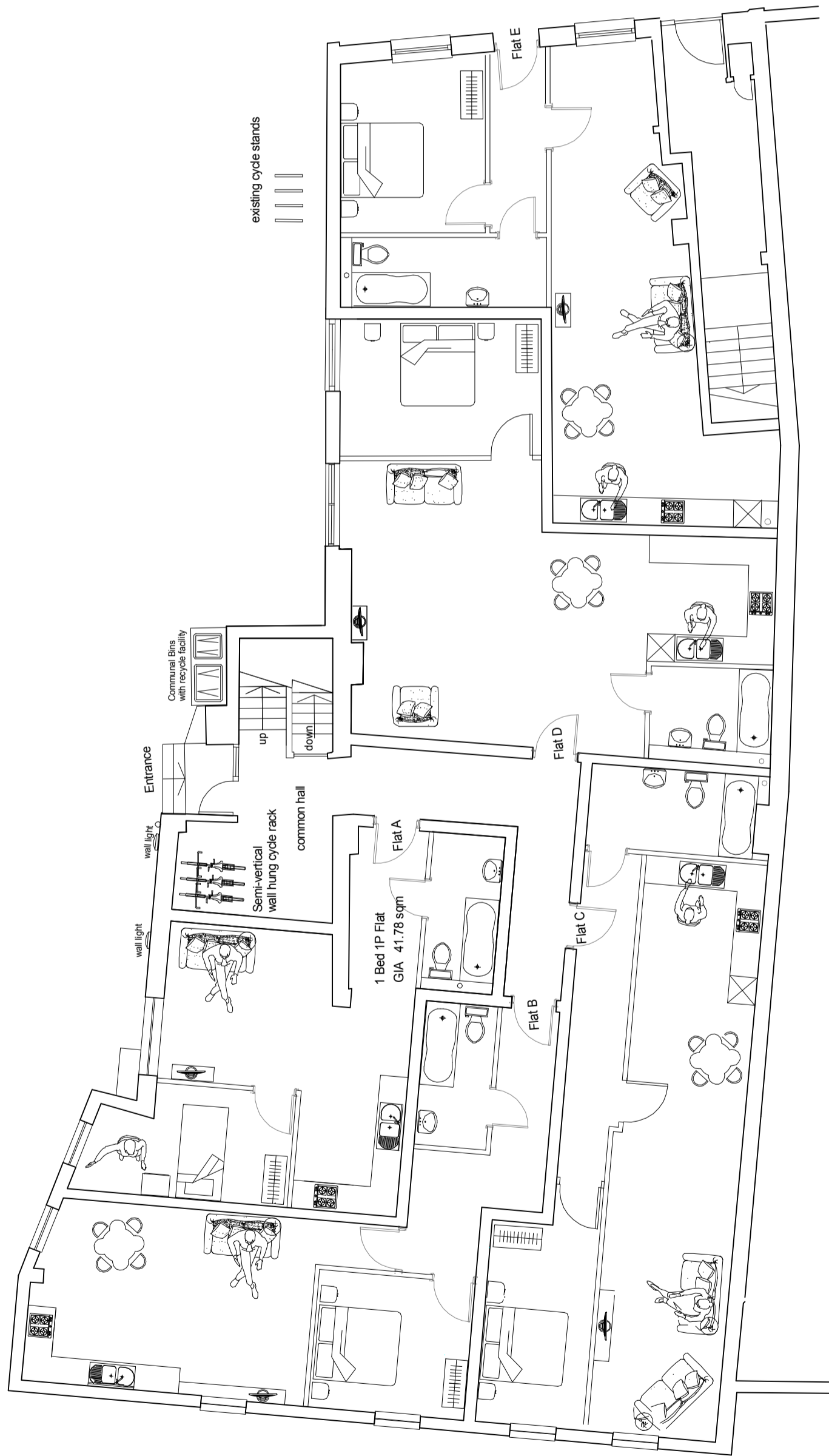
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23 May 2014.

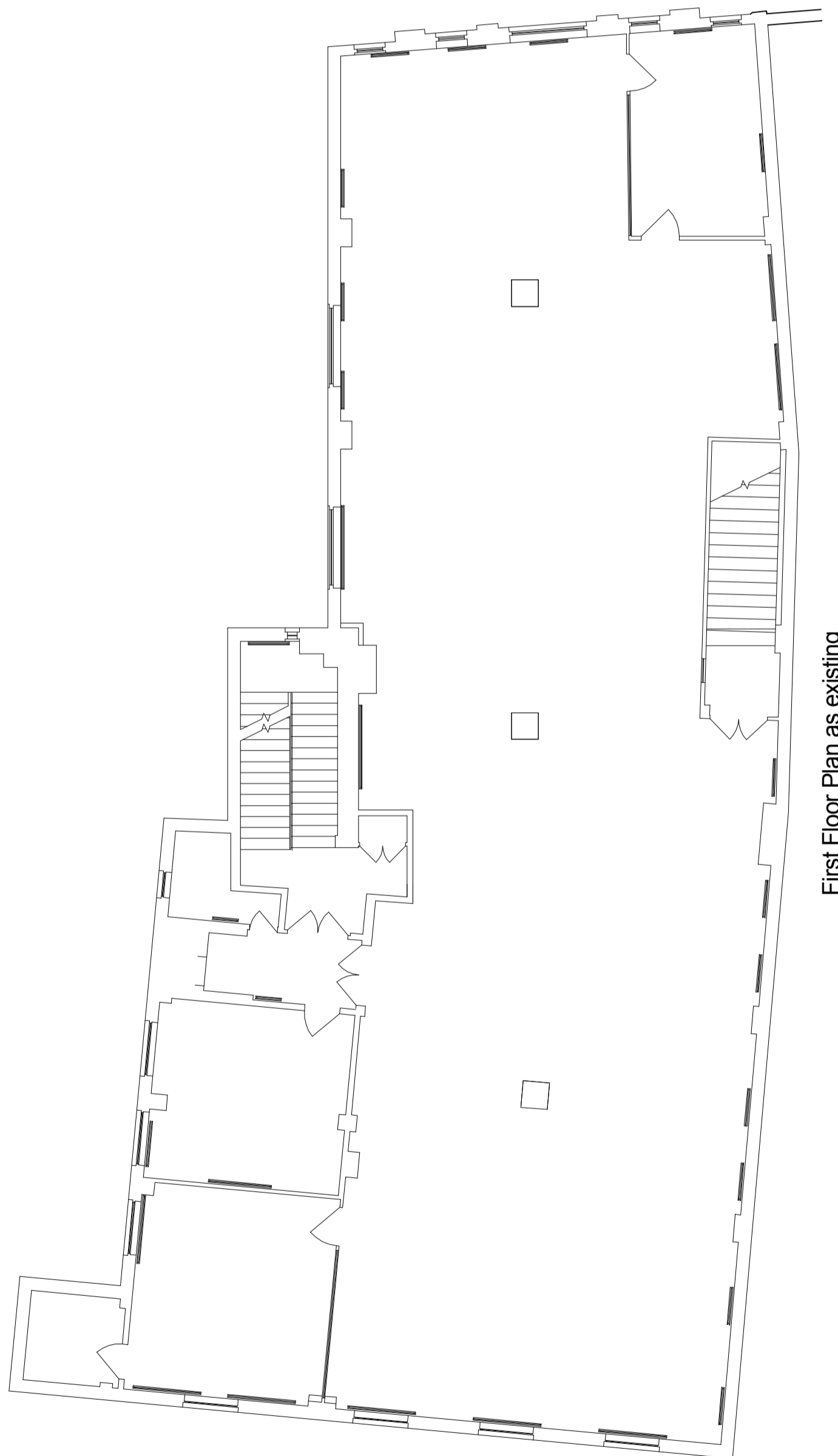
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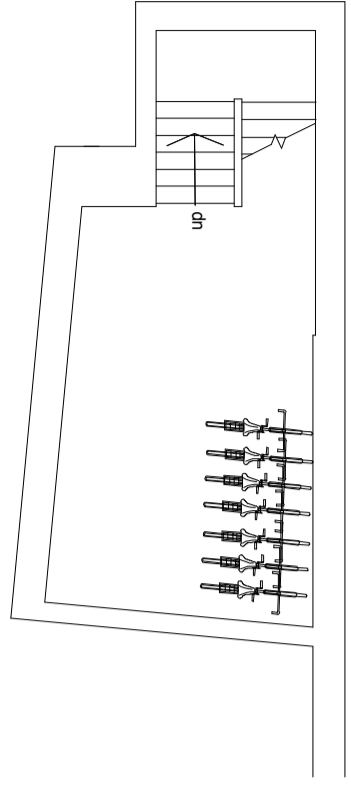
MITCHAM



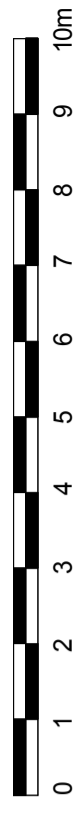
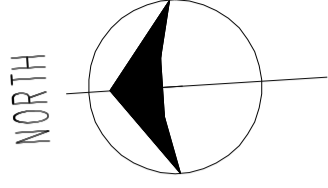
Ground Floor Plan as existing



First Floor Plan as existing

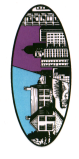


Basement Floor Plan as existing



Floor Plan Scale 1:100 @A2

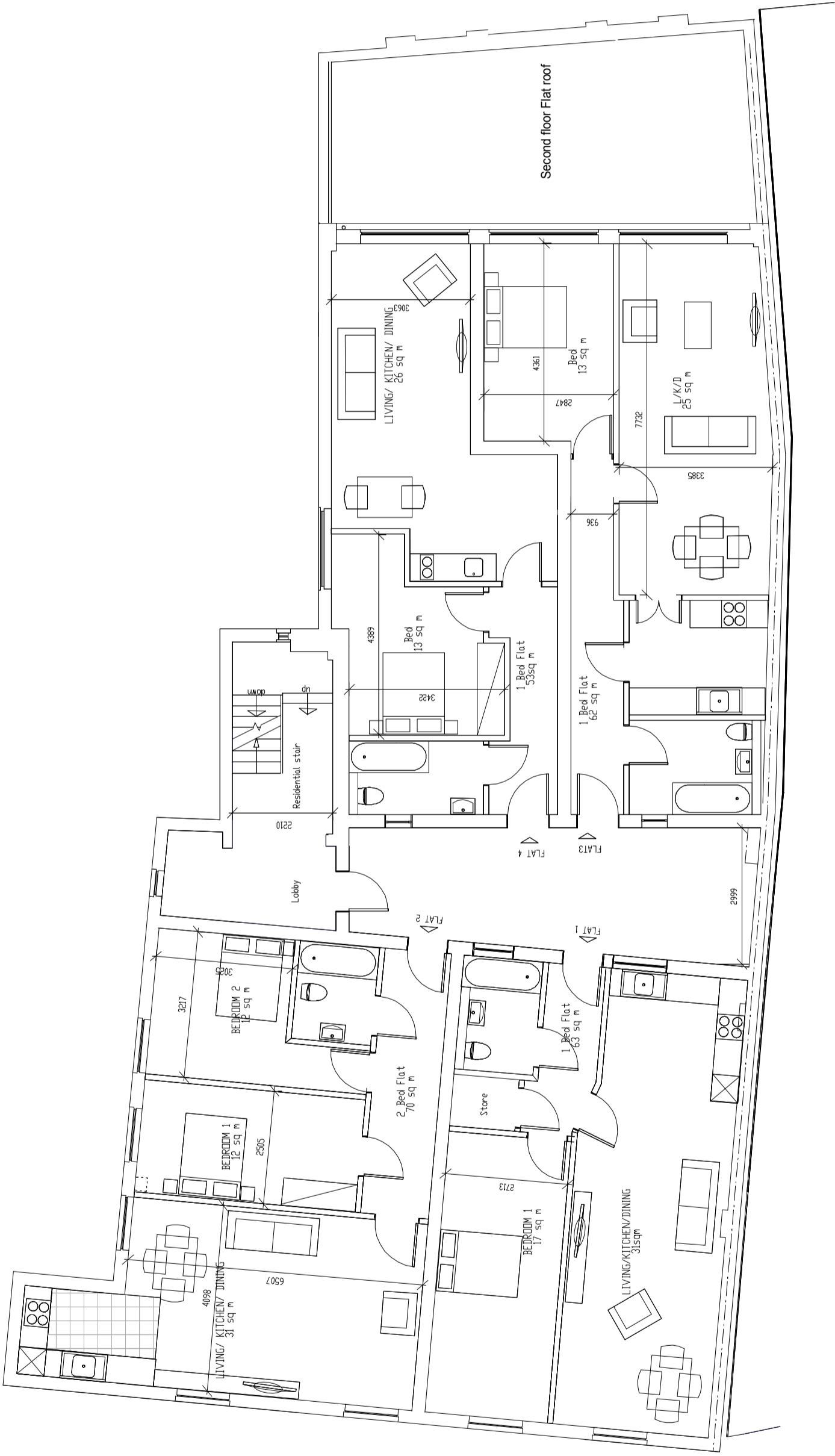
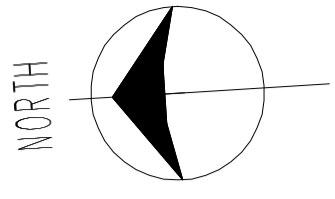
General Notes		
A	Planning amendments	24/08/15
Date	Revision/Issue	No.


AM Surveying Property Services Ltd.
 6 Woodlands Parade,
 Woodlands, Mitcham,
 Avoncliff, Kent, ME20 8PE
 Tel: 01632 882244
 E-Mail: office@amsp.co.uk

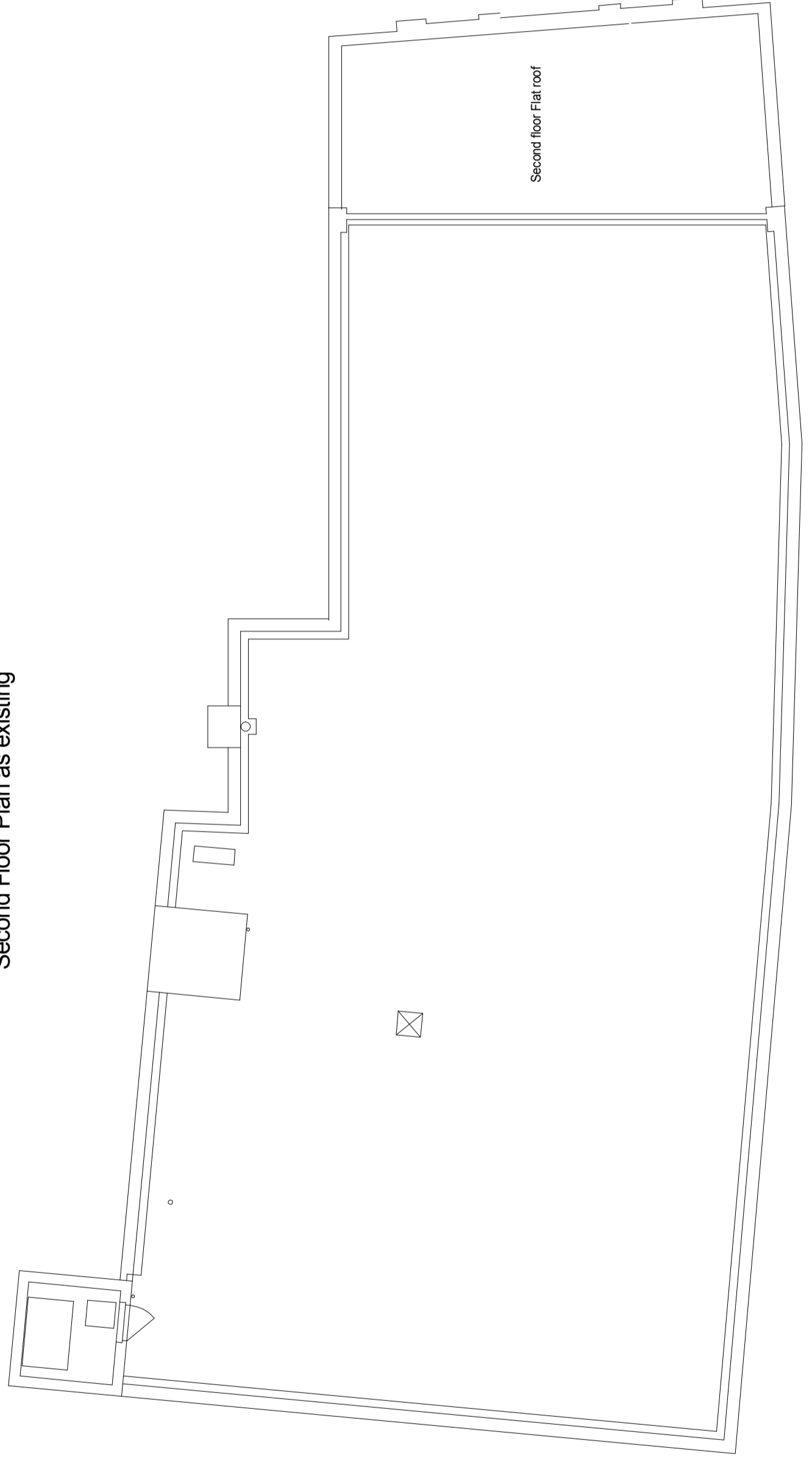
Project Name and Address
 1 Sibthorp Road,
 Mitcham,
 CR4 3NN.

Title
 Basement, Ground & First floor
 plans, As Existing

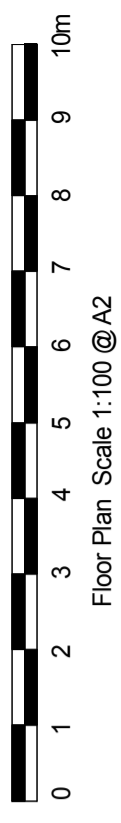
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	29.07.2015.
	Drawing No. AM.246.04



Second Floor Plan as existing



Existing roof plan



Floor Plan Scale 1:100 @ A2

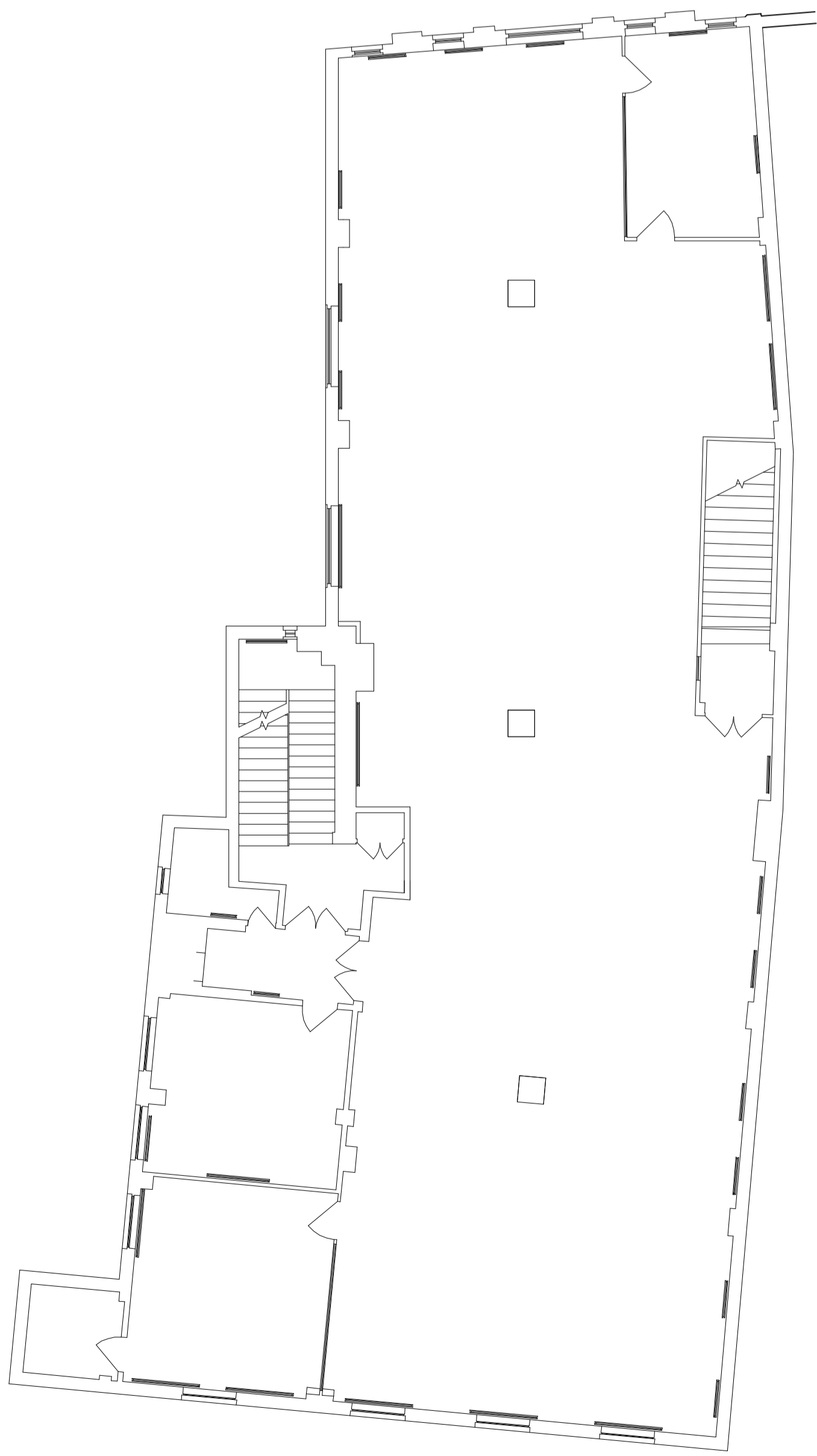
General Notes		
	Planning amendments	24/08/15
Date	Revision/Issue	No.

A.M. Surveying Property Services Ltd.
 6 Woodlands Park Drive
 Aylesford, Kent, ME20 6HE
 Tel: 01622 882244
 E-Mail: office@amepsa.co.uk

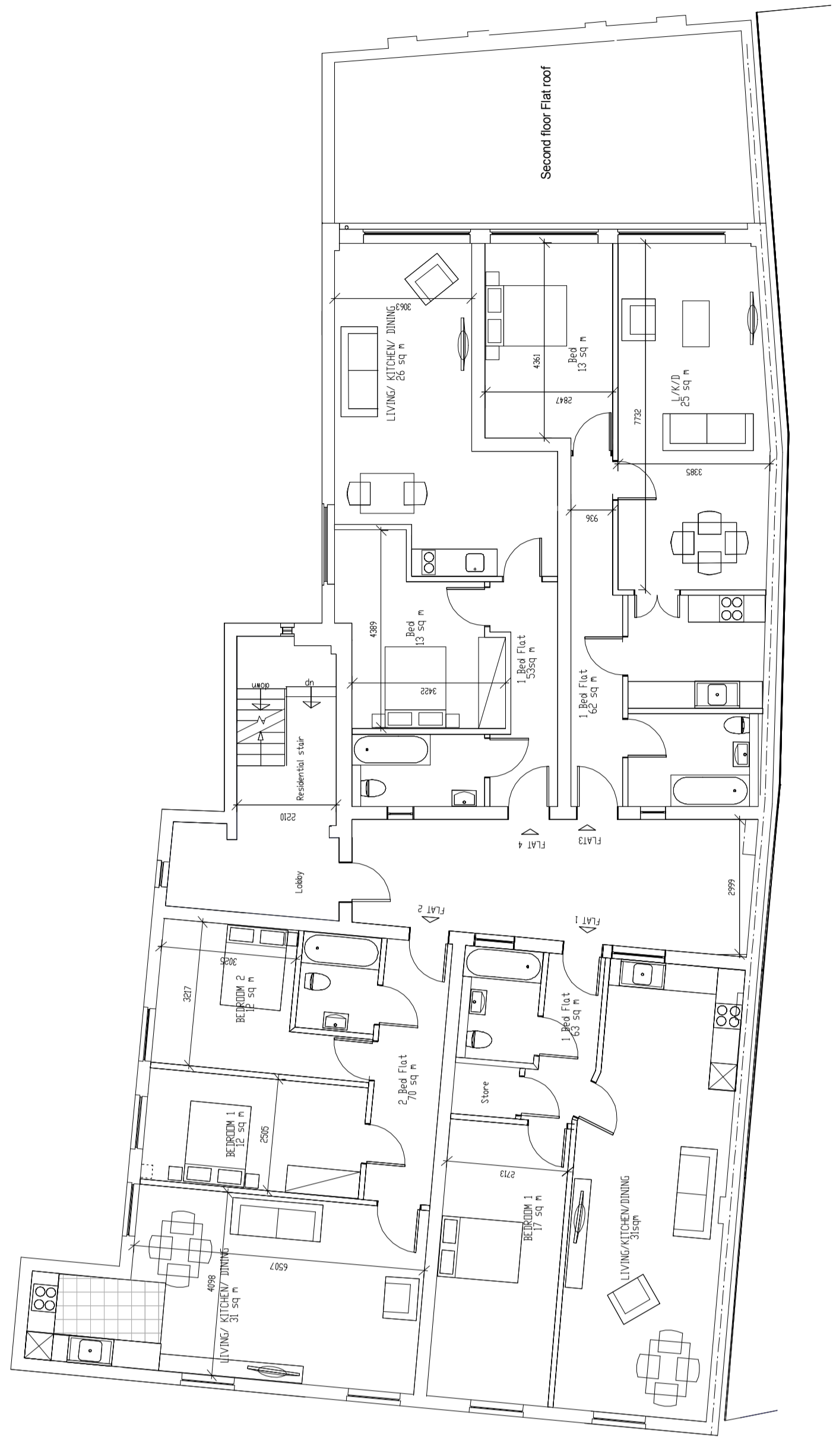
Project Name and Address
1 Sibthorp Road,
Mitcham,
CR4 3NN.

Title
Second floor & Roof Plan
As Existing

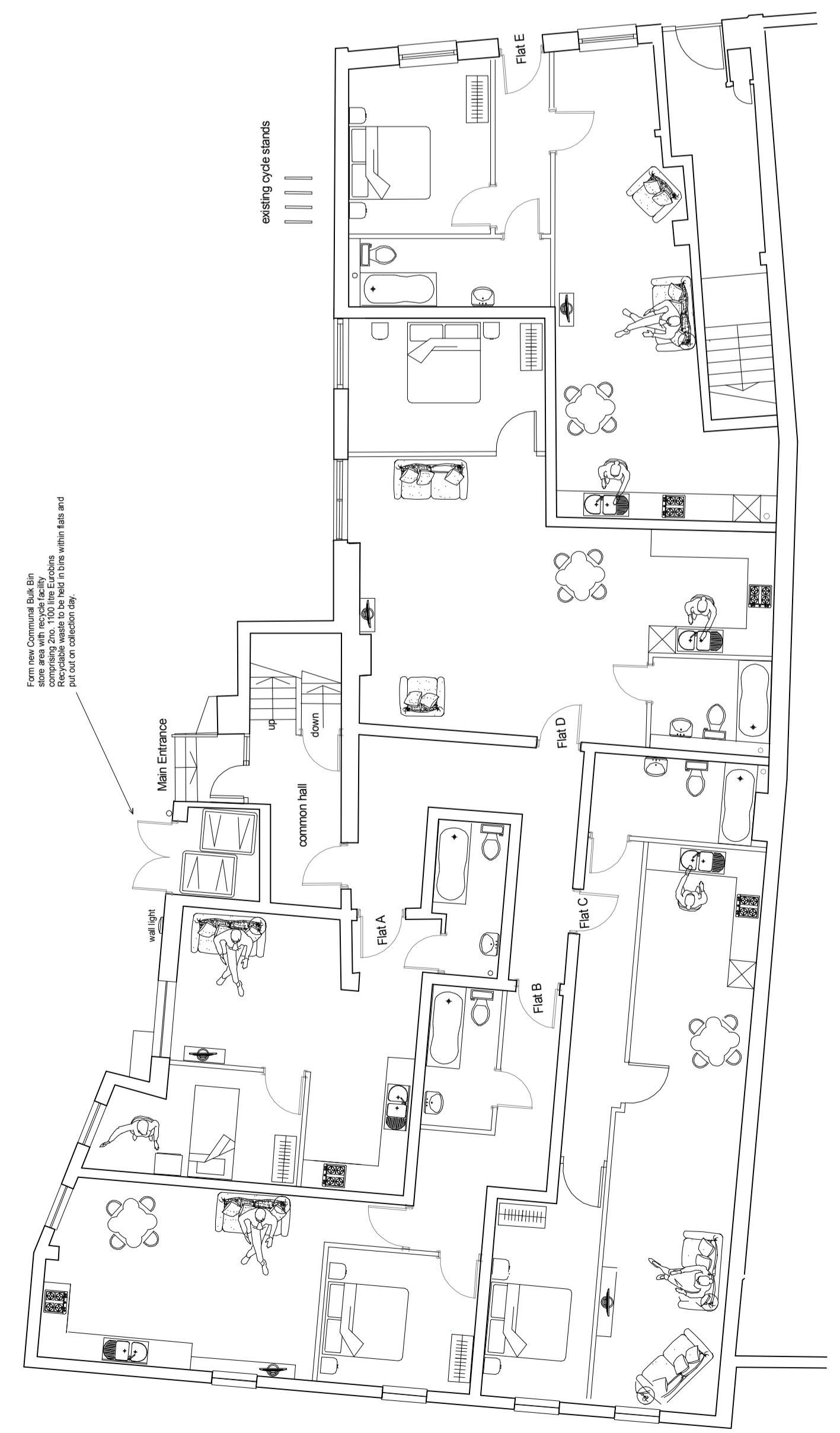
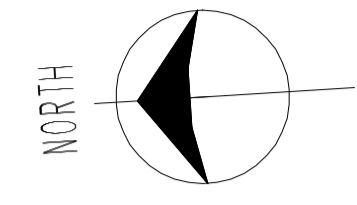
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	Drawing No. AM.246.05	



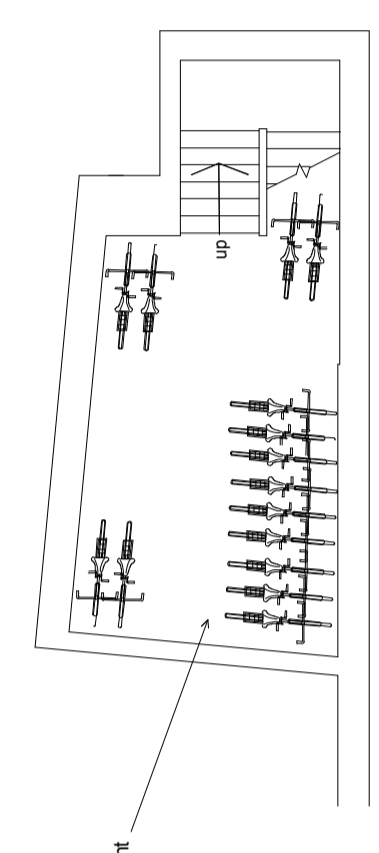
First Floor Plan (no change)



Second Floor Plan (no change)



Ground Floor Plan as proposed



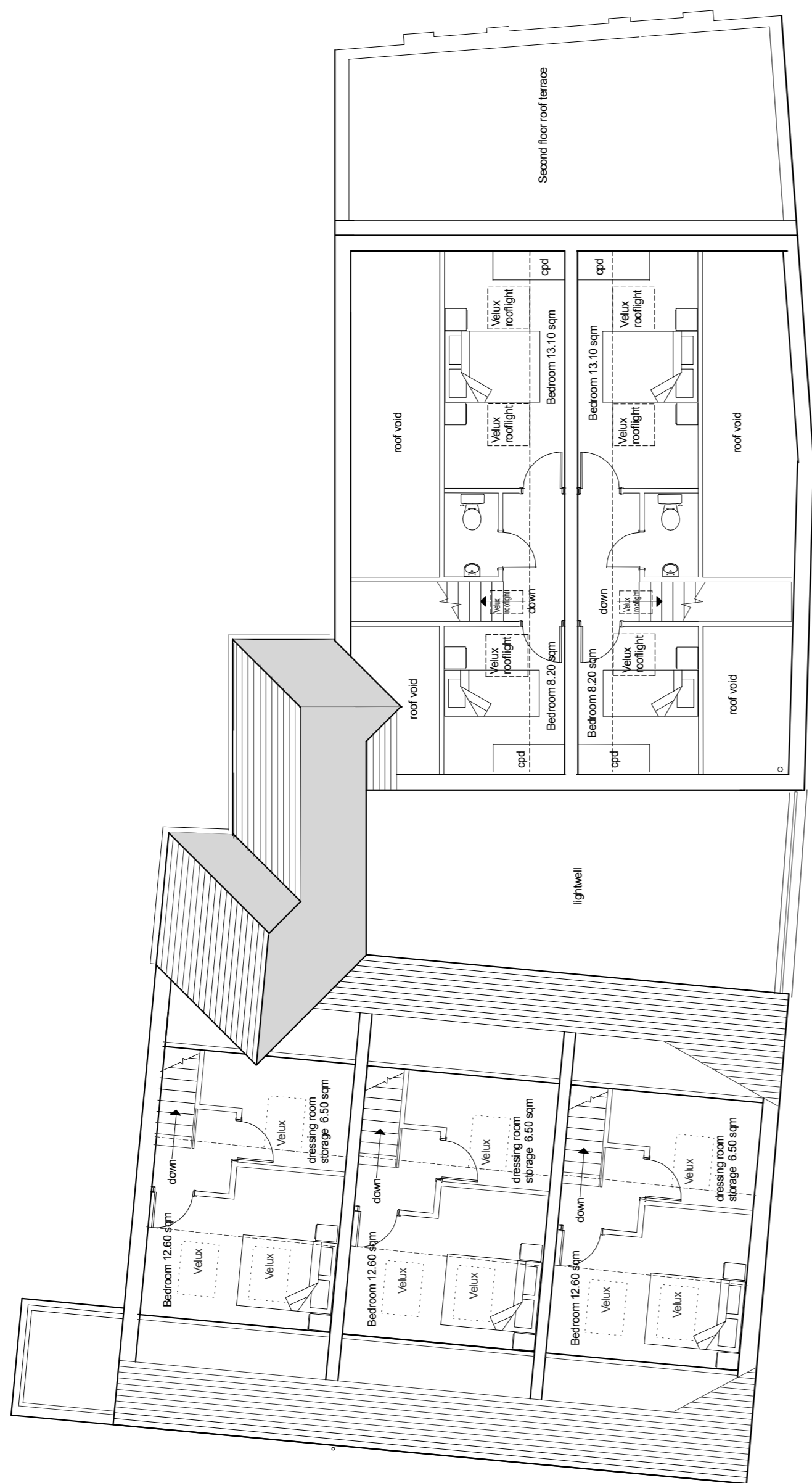
Basement Floor Plan as proposed

General Notes			
Date	Revised/Issue	No.	
A	Planning amendments	24/08/15	

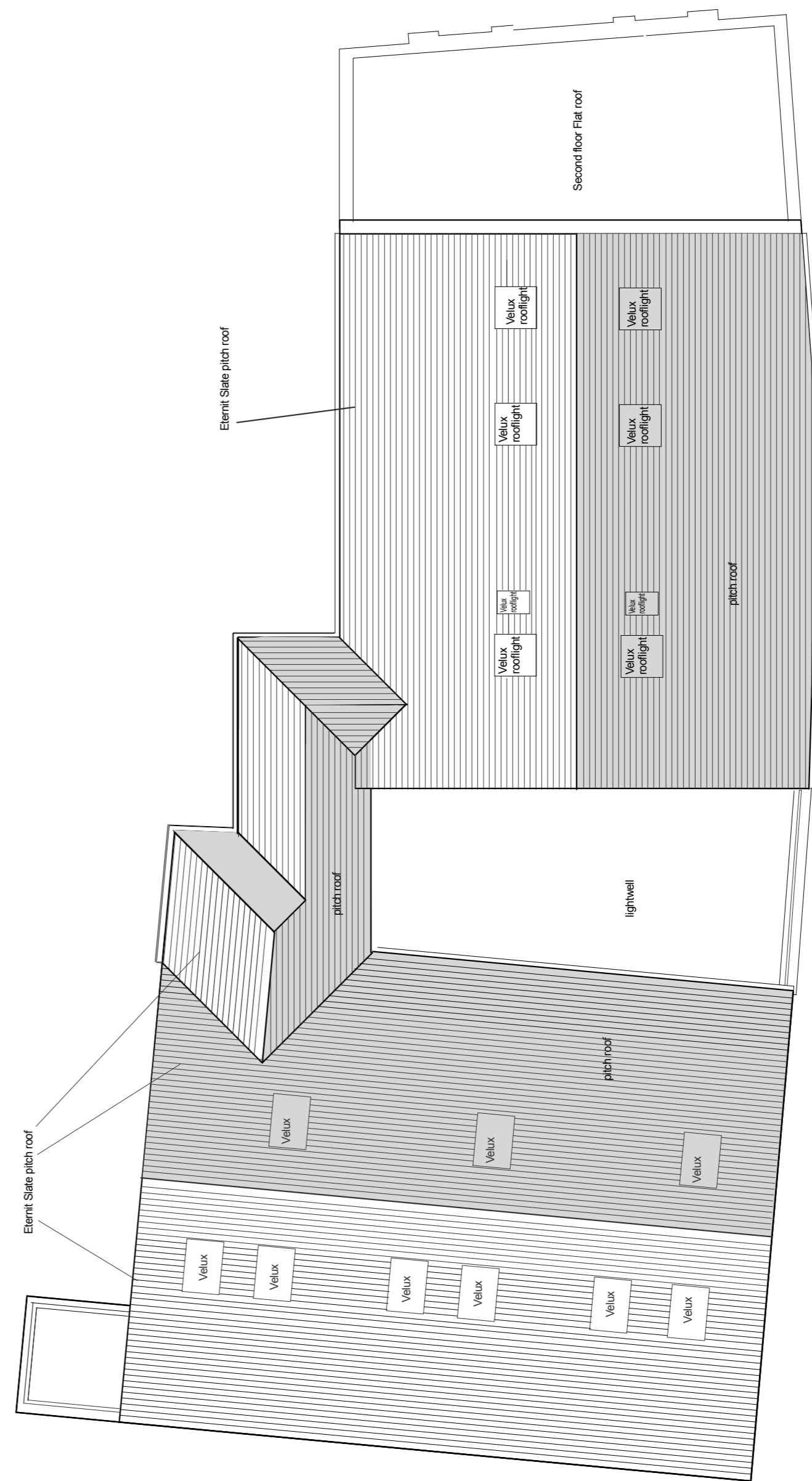
Project Name and Address
**1 Sibthorp Road,
 Mitcham
 CR4 3NN**

Title
**Basement, Ground, First
 & second floor
 As Proposed**

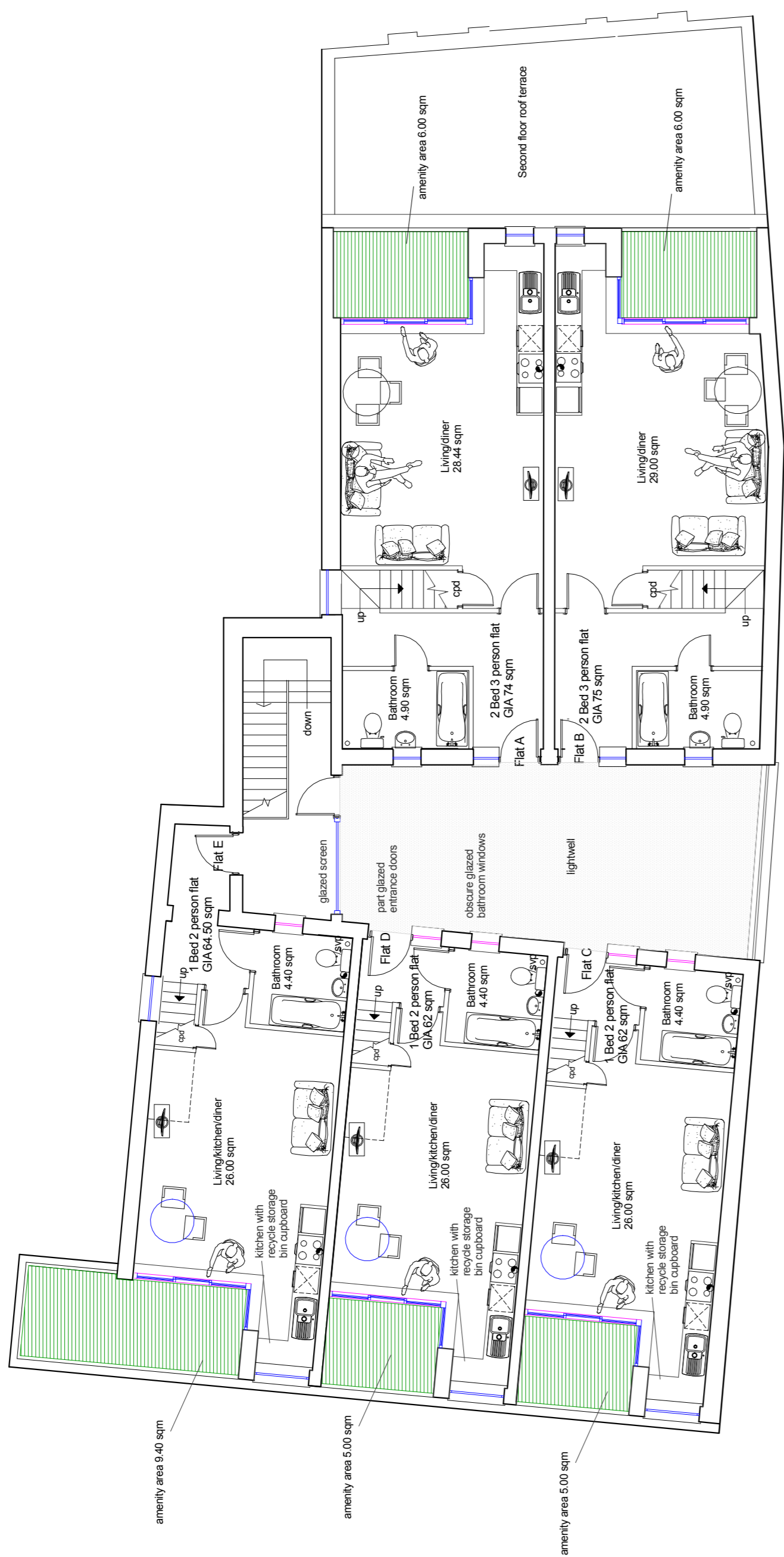
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 Drawing No. AM.246.06



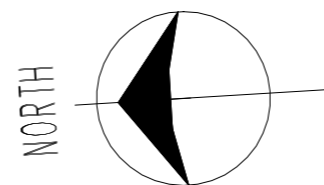
Proposed Attic roof Floor Plan



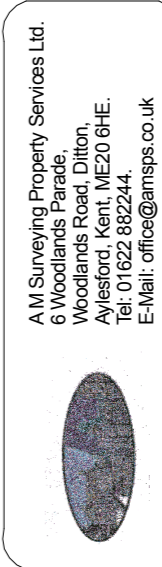
Proposed Roof Plan



Proposed Third Floor Plan



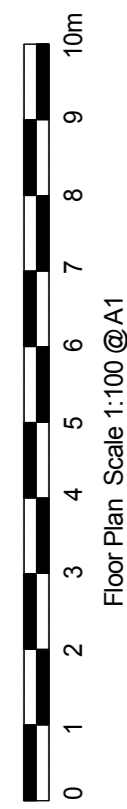
General Notes		
B	Planning amendments 24/09/15	
A	amended floor plans 07/07/15	
Date	Revision/Issue	No.

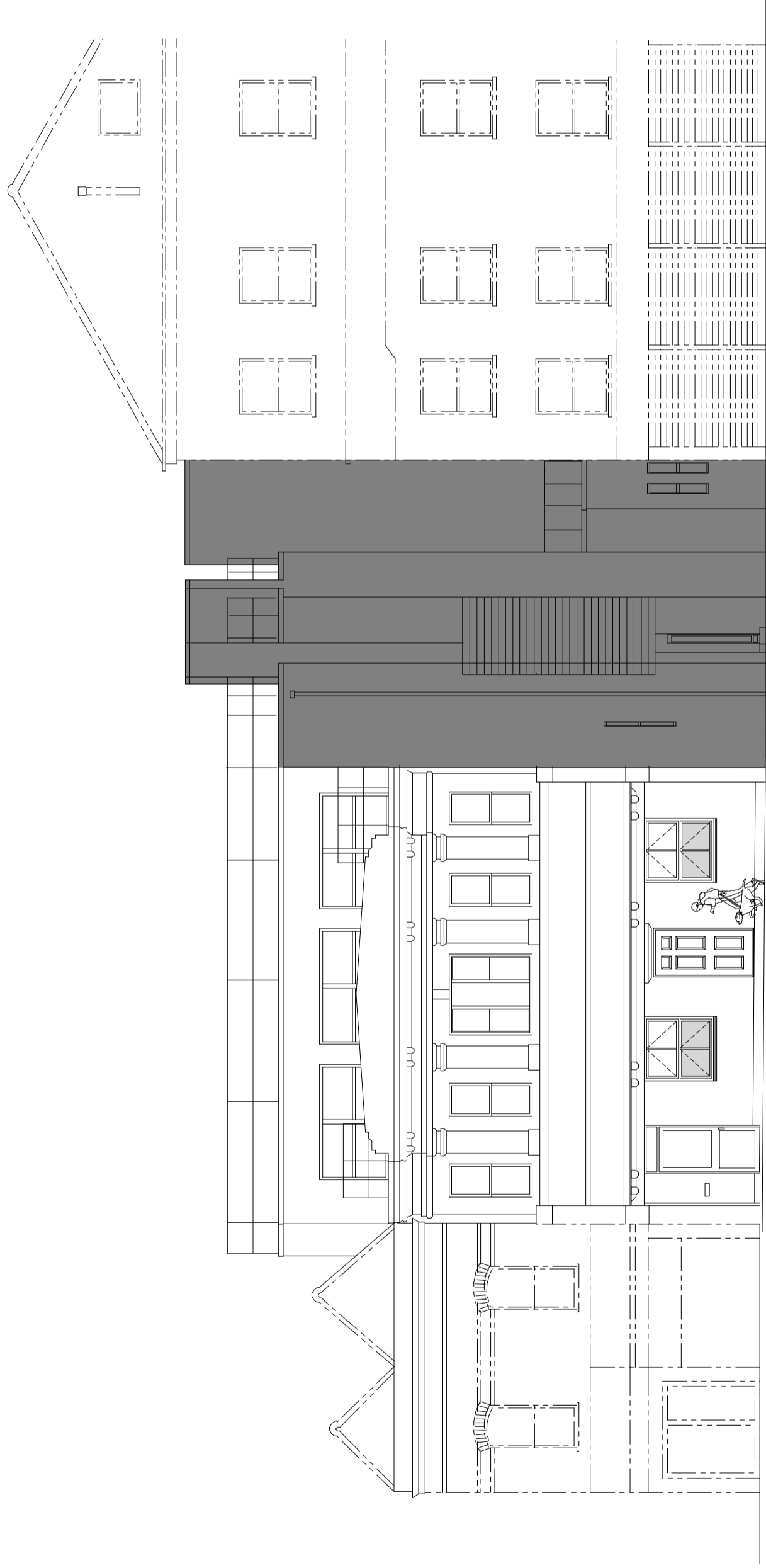


AM Services Property Services Ltd.
 6 Woodlands Farm,
 Woodlands Road, Ditchley,
 Warwick, CV23 0BE.
 Tel: 01622 882244
 E-Mail: office@amps.co.uk

Project Name and Address
**1 Sibthorp Road,
 Mitcham,
 CR4 3NN.**
 Title
**Third floor & Roof Plan
 As Proposed**

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	13.01.2015.
	Drawing No. AM.246.07



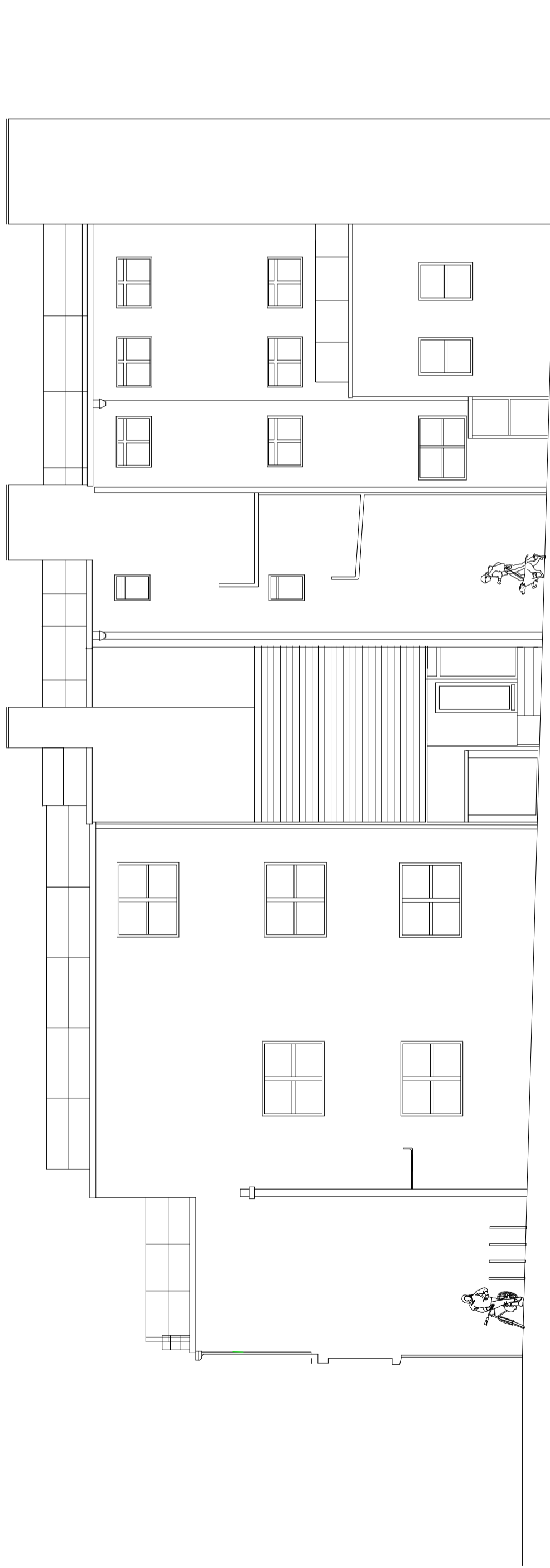
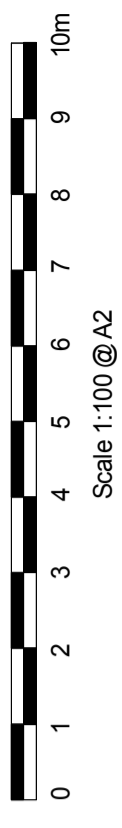


250 London Road

246-248 London Road
Elevation as Existing

Sibthorp Road

242-244 London Road



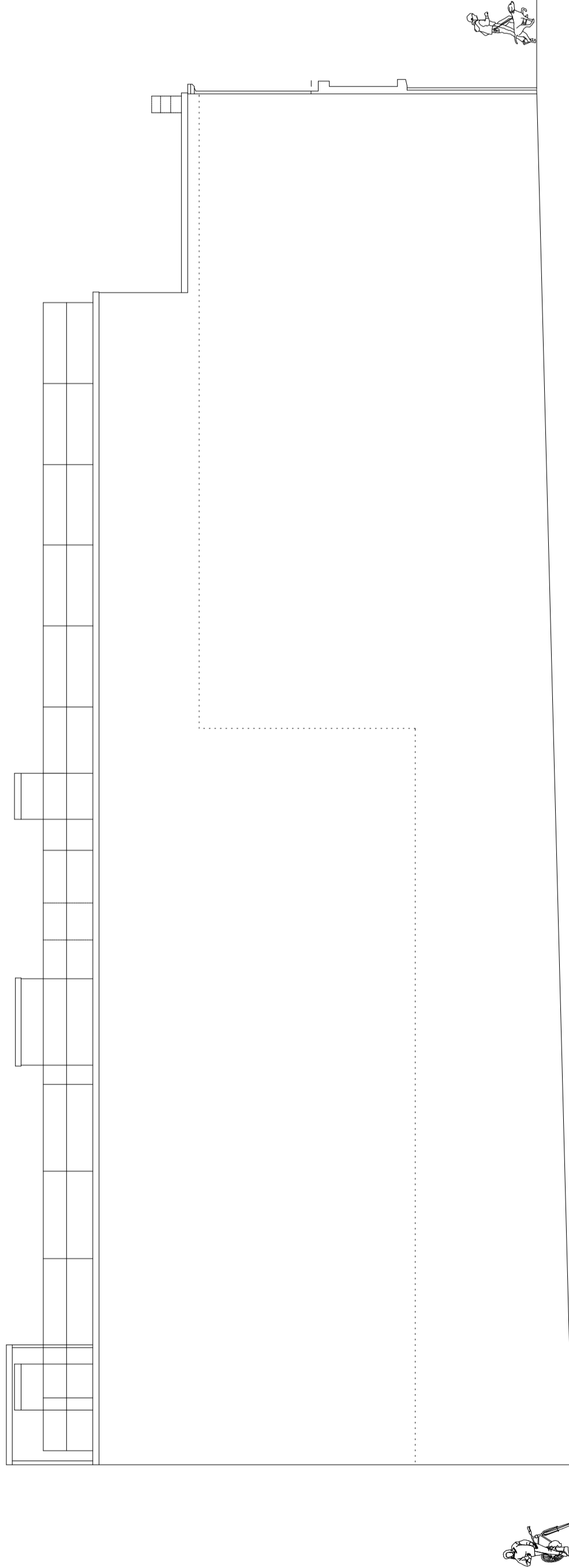
Sibthorp Road Elevation
As Existing

General Notes		
A	Planning amendments	24/08/15
	Date	Revision/Issue No.

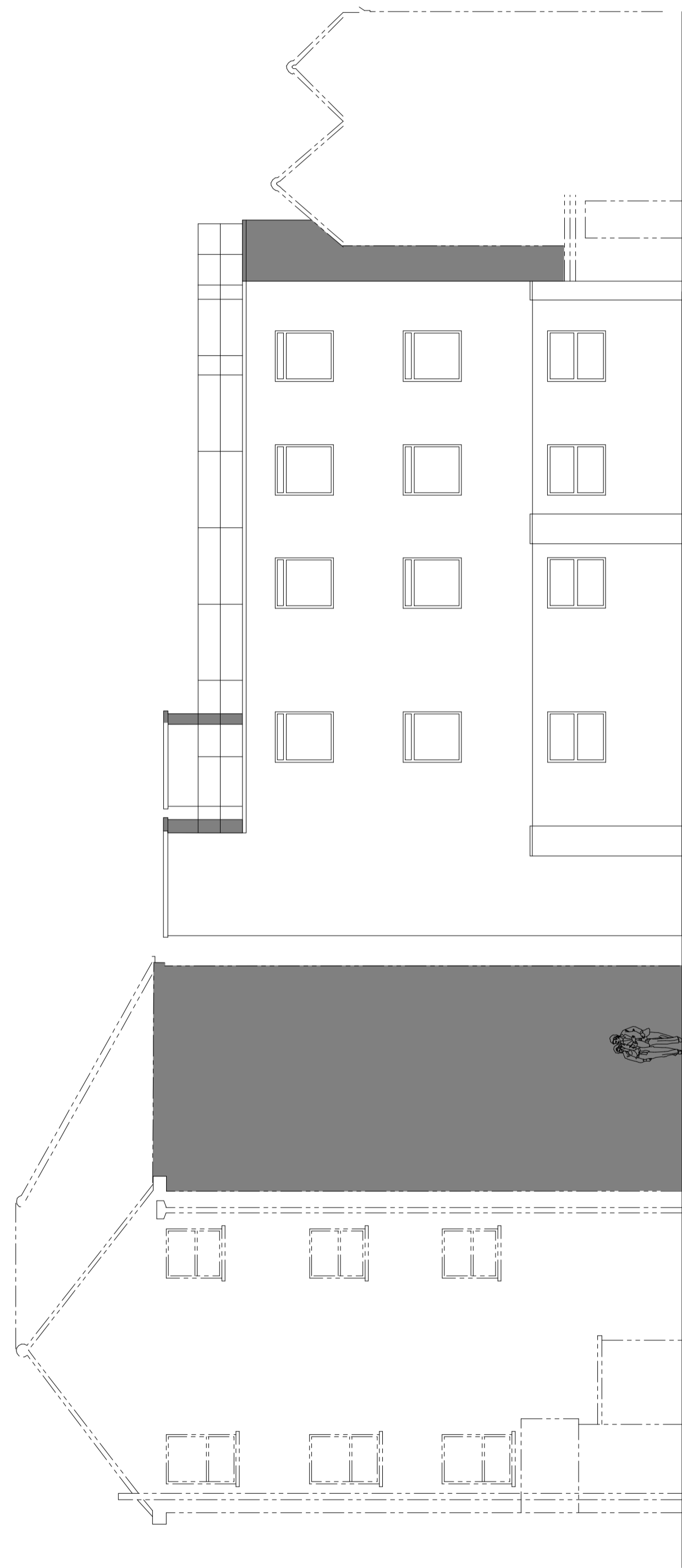
A.M.Surveying Property Services Ltd.
6 Woodlands Parade,
Woodlands Road, Ditton,
Kent, ME11 5JG
Tel: 01622 882444
E-Mail: office@amsps.co.uk

Project Name and Address
**1 Sibthorp Road,
Mitcham,
CR4 3NN.**
Title
**Front and Flank Elevations
As Existing**

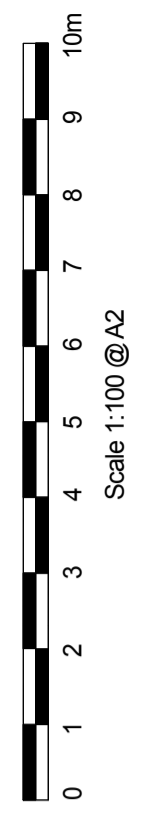
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	13.01.2015.
	Drawing No. AM.246.02



Existing South Side Elevation



Existing Rear Elevation



General Notes		
A	Planning amendments	24/08/15
	Date	Revision/Issue
		No.

AM Consulting Property Services Ltd.
 6 Woodlands Park
 Woodlands Road, Dilton,
 Aylesford, Kent, ME20 8HE.
 Tel: 01622 882244.
 E-Mail: office@amspa.co.uk

Project Name and Address
**1 Sibthorp Road,
 Mifflam,
 CR4 3NN.**
 Title
**Rear and South Flank Elevations
 As Existing**

Sheet	Scale: 1 : 100 @A2
	13.01.2015.
	Drawing No. AM.246.03

Ridge to match height of adjoining property

Ceiling level

Ceiling level
downstand beam level

New floor level
New balcony level
flat roof existing level

Set back wall 300mm from face
of existing
Render to match existing

Opaque glazed panel to inset balcony areas
raise existing parapet
as necessary



250 London Road

London Road Elevation
As Proposed

Sibthorp Road

242-244 London Road



Scale 1:100 @A2

Element: Slate pitch roof

Render to match existing

Obscure glazed privacy screen

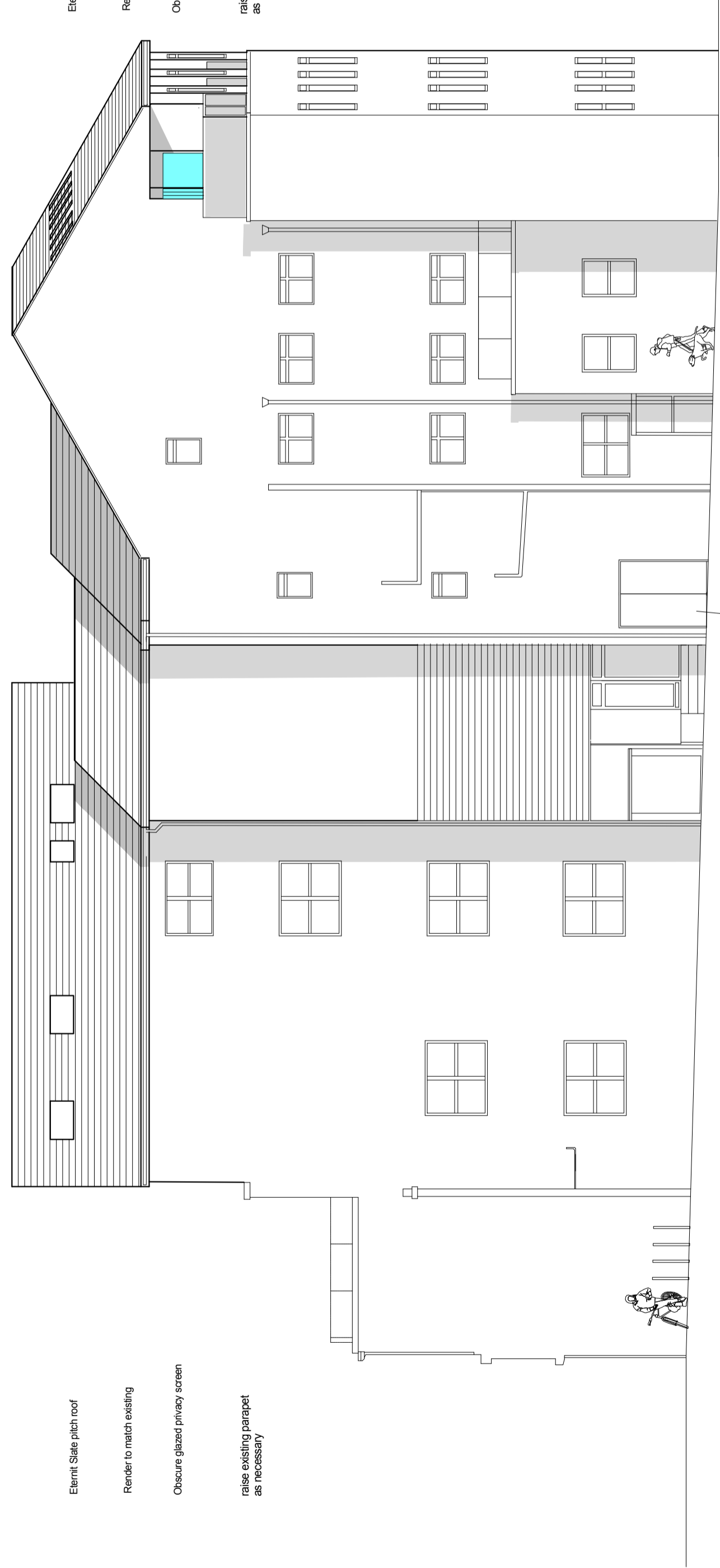
raise existing parapet
as necessary

Element: Slate pitch roof

Render to match existing

Obscure glazed privacy screen

raise existing parapet
as necessary



Form new Command Bin
comprising 2no. 1100 litre Eurobins
Recyclable waste to be held in bins within flats and
put out on collection day

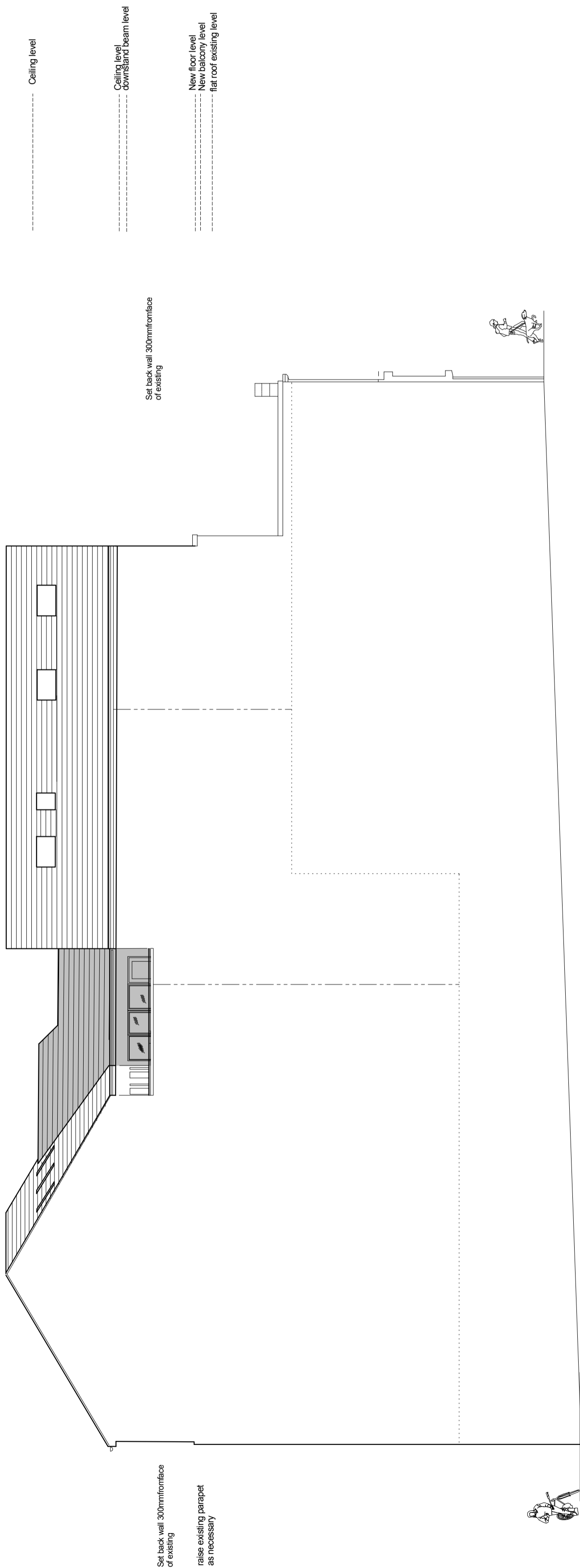
Sibthorp Road Elevation
As Proposed

General Notes		
A	Planning amendments	24/08/15
	Date	
	Revision/Issue	No.

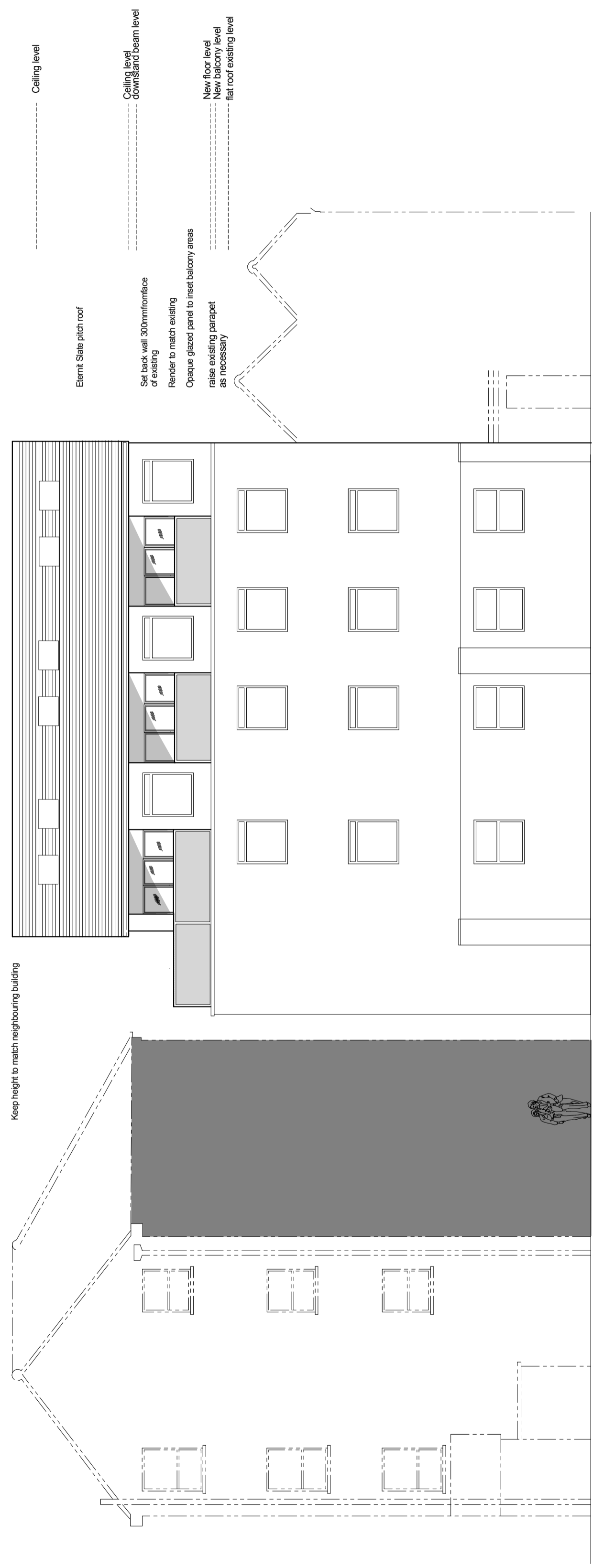
AMS Surveying Property Services Ltd.
6 Woodlands Parade,
Woodlands Road, Ditton,
Aylesford, Kent, ME20 6HE.
Tel: 01795 534444
E-Mail: office@amsps.co.uk

Project Name and Address
**1 Sibthorp Road,
Mitcham,
CR4 3NN.**
Title
**Front and Flank Elevations
As Proposed**

Sheet	Scale, 1 : 100 @A2
	29.07.15.
	Drawing No. AM.246.09



Proposed South Side Elevation



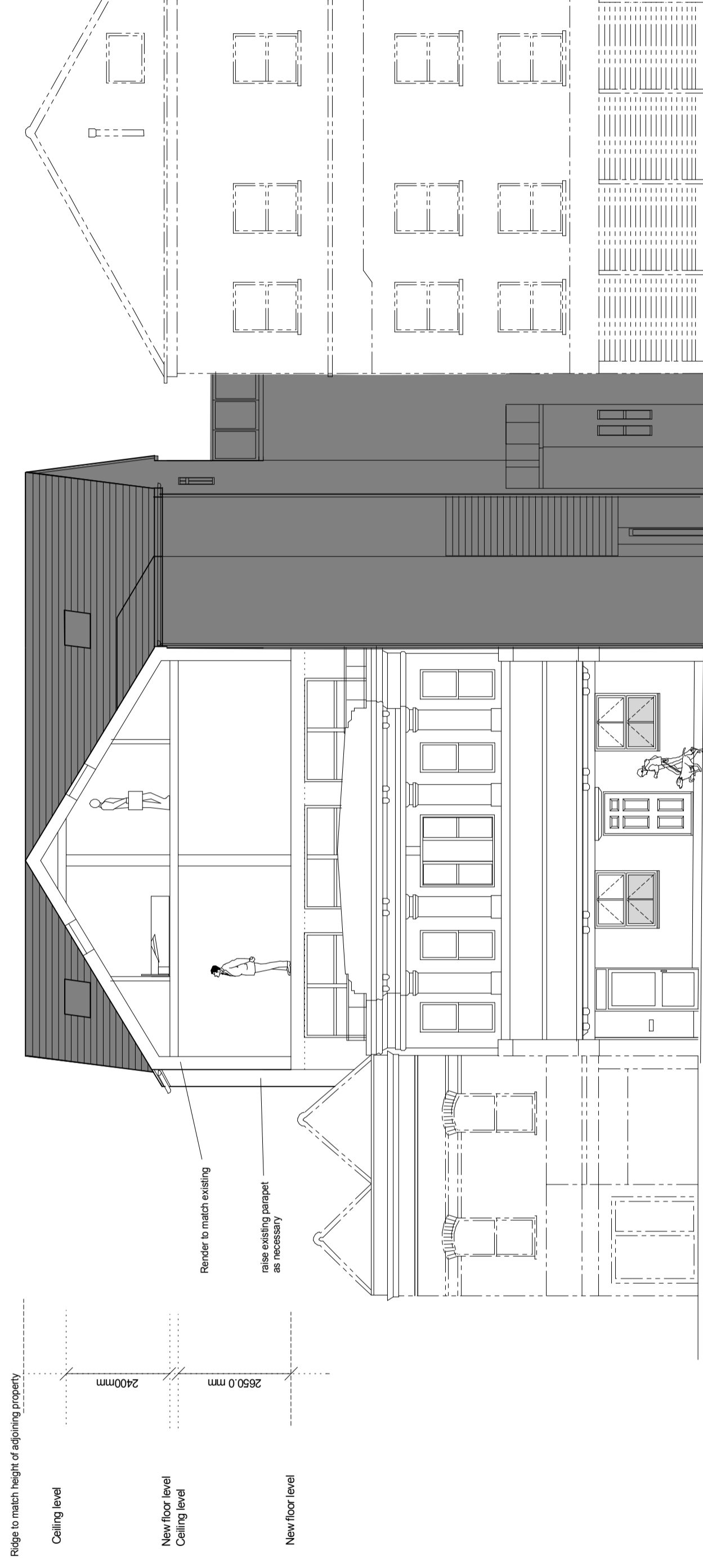
Proposed Rear Elevation

General Notes	
Date	24/08/15
Planning amendments	No.
Revision/Issue	No.

AM Surveying Property Services Ltd
 6 Woodlands Parade,
 Woodlands Road, Dilton,
 Aylesbury, Bucks MK20 8HE,
 UK. Tel: 01295 862201
 E-Mail: office@amsps.co.uk

Project Name and Address
1 Sibthorp Road,
Mitcham,
CR4 3NN.
 Title
Rear and South Flank Elevations
 As Proposed

Sheet	Scale, 1 : 100 @ A2
	29.07.15.
	Drawing No. AM.246.08

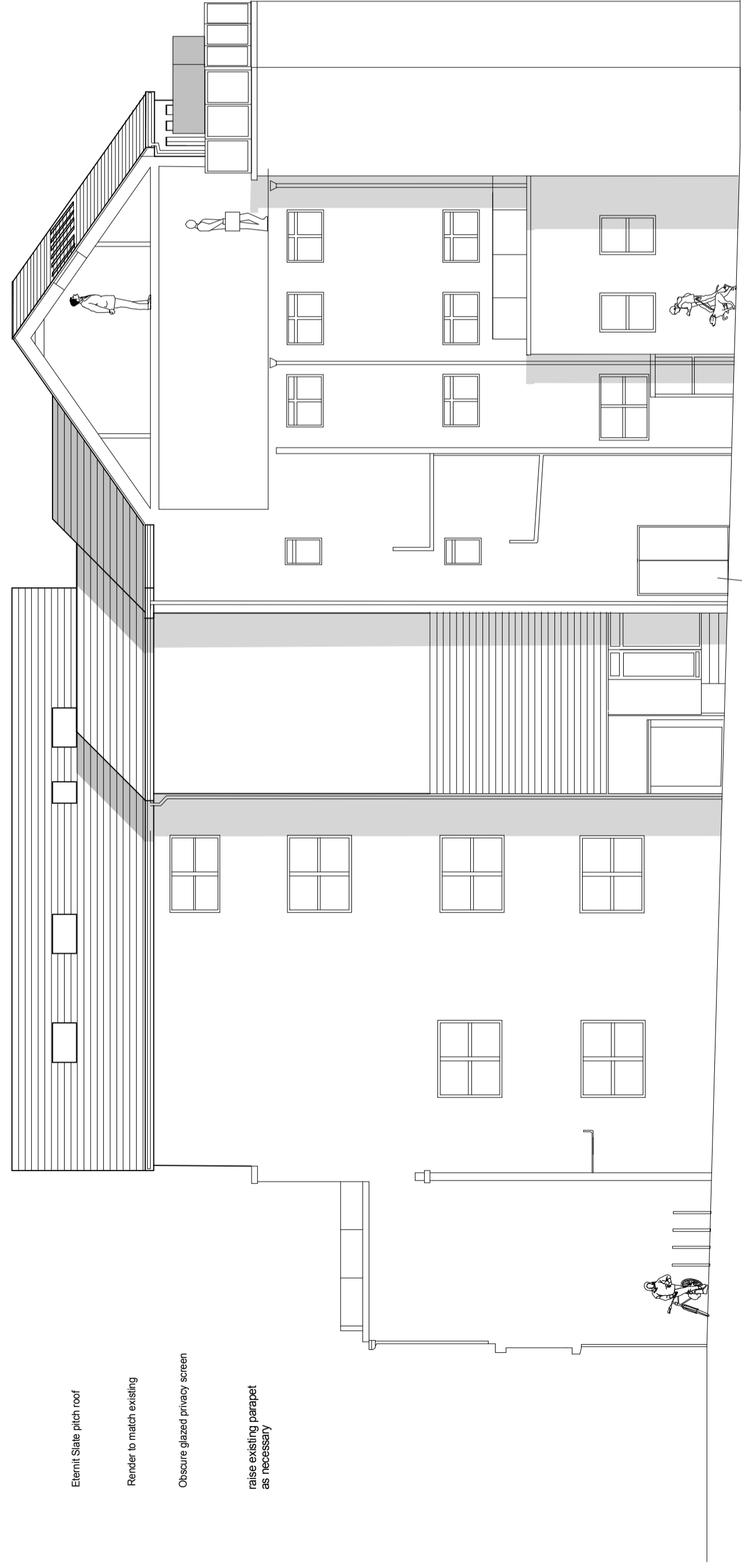
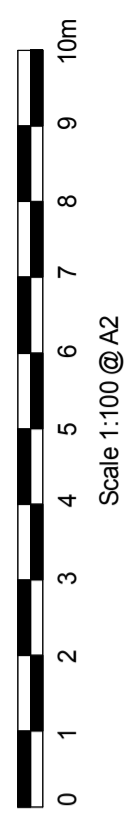
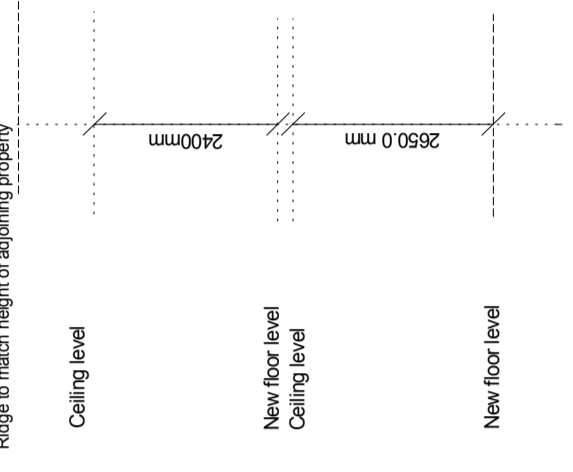


242-244 London Road

Sibthorp Road

London Road Elevation
As Proposed

250 London Road



Sibthorp Road Elevation
As Proposed

General Notes			
A	Planning amendments	24/08/15	No.
	Date	Revision/Issue	

AM Surveying Property Services Ltd.
6 Woodlands Parade,
Woodlands Road, Diton,
Aylesford, Kent, ME20 8HE.
Tel: 01843 874444
E-Mail: office@amsp.co.uk

Project Name and Address
**1 Sibthorp Road,
Mitcham,
CR4 3NN.**
Title
**Front and Flank Elevations
Sections As Proposed**

Sheet	Scale, 1 : 100 @ A2
	29.07.15.
	Drawing No. AM.246.10

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PLANNING APPLICATIONS COMMITTEE
23rd May 2016

<u>UPRN</u>	<u>APPLICATION NO.</u>	<u>Item No:</u> <u>DATE VALID</u>
	15/P4798	23/12/2015
Address/Site	46 – 76 Summertown (Volante), Wimbledon, SW17 0BH	
Ward	Wimbledon Park	
Proposal:	Demolition of existing buildings and erection of a part 7 (top floor recessed), part 9 (top floor recessed) storey building, including accommodation at basement level, comprising 93 flats with 18 associated car parking spaces, 165 cycle parking spaces, hard and soft landscaping and associated works.	
Drawing Nos	1216_SK102 Rev J, 2110-00-DR- 0020 Rev P02, 0021 Rev P02, 0050 Rev P01, 0051 Rev P01, 0052 Rev P01, 0053 Rev P01, 0054 Rev P01, 0058 Rev P01, 0059 Rev P01, 0060 Rev P01, 0100 Rev P03, 0101 Rev P03, 0102 Rev P03, 0103 Rev P02, 0104 Rev P02, 0108 Rev P02, 0109 Rev P02, 0110 Rev P02, 0111 Rev P02, 0400 Rev P02, 0401 Rev P02, 0402 Rev P02, 0420 Rev P02, 0600 Rev P02, 0601 Rev P03, 0602 Rev P02 & 0603 Rev P03.	
Contact Officer:	Stuart Adams (0208 545 3147)	

RECOMMENDATION

GRANT Planning Permission subject to S106 agreement and conditions (SUBJECT TO FURTHER FLOODING INFORMATION BEING SUBMITTED AND REVIEWED/APPROVED BY THE ENVIRONMENTAL AGENCY AND COUNCIL'S FLOOD ENGINEER).

CHECKLIST INFORMATION.

Heads of agreement: - Permit free, Health Care, Car Club, Loading/Drop Off

Bays, Travel Plan, affordable housing review mechanism and Sport Provision.
Is a screening opinion required: No
Is an Environmental Statement required: No
Has an Environmental Impact Assessment been submitted – No
Press notice – Yes
Site notice – Yes
Design Review Panel consulted – No
Number of neighbours consulted – 58
External consultations – No.
PTAL Score – 2/3
CPZ – No

1. **INTRODUCTION**

1.1 The application has been brought before the Planning Applications Committee for consideration due to the number of objections received

2. **RECOMMENDATION**

2.1 Officer recommendation is Grant Planning Permission subject to S106 agreement and conditions. However this on the proviso that the applicant submits the relevant flooding information for consideration and approval of the Environmental Agency and the Council's Flood Engineer. Failure to come to the suitable conclusion before the planning committee meeting is likely to result in deferred of the scheme.

3. **SITE AND SURROUNDINGS**

3.1 The application site is situated on Summertown, Tooting. The site comprises a two storey commercial unit currently occupied by 'Volante Limited' who supplies flooring materials to the building trade. The site is roughly rectangular shaped, with buildings arranged in an 'L' shape along its western and southern boundaries. The buildings front onto a hard standing car park/ HGV deliveries area with direct access to Summertown/B235.

3.2 A range of uses surround the site. To the east on the opposite side of the Summertown are single storey industrial units. Directly beyond are two storey terrace houses in Keble Street. To the north, south, and west of the site are further industrial, commercial, and service uses, including, Wimbledon Stadium, a retail park, and a metal works.

3.3 The site is bound to the north, west and south by open land/ car park that serves the 8,000 capacity Wimbledon Greyhound Stadium. Wimbledon

Stadium Squash Club is located within a building on the south eastern corner of the stadium. A surface water sewer (culvert) of approximately 1370mm diameter is shown passing through east of the neighbouring Wimbledon Stadium site from Plough Lane to Riverside Road.

- 3.4 The site has a Public Transport Accessibility Level (PTAL) of 2/3, providing good access to a range of bus services with a maximum 8 minute walk time; London Underground Northern Line with a maximum 12 minute walk time; and London Rail services, also within a maximum walk time of 12 minutes. Whilst the site falls within the London Borough of Wandsworth (LBM), the borough boundary, which it shares with the LBW, runs along the western side of the B235/ Summerstown. LBW are therefore the Highway Authority for the B235/Summerstown.
- 3.5 There are 5 train / underground stations within a 1.5 mile radius of the site:
- Haydon's Road Station (Overground and approximately 0.5 miles south of the site),
 - Earlsfield Station (Overground and approximately 0.9 miles from the site)
 - Tooting Broadway Station (1 mile east of the site, Northern Line),
 - Wimbledon Park Station (1.1 miles west of the site, District Line), and Wimbledon Station (Overground, District line, and Tramlink, and approximately 1.2 miles from the site).
- 3.6 Local bus number 493 passes the along Plough Lane and a variety of buses can be accessed from Garratt Lane (Earlsfield and Tooting Broadway stations) and Wimbledon town centre.
- 3.7 Within the Merton Core Strategy (2011), the site falls within the Colliers Wood and South Wimbledon Sub-Area (Policy CS1 and within the Wandle Valley sub- area (Policy CS5). The application site sits within the overarching Wimbledon Stadium Site which is identified as Site Proposal 37 in the councils adopted Sites and Policies Plan (2014). The allocated use of the Wimbledon Stadium site is 'Intensification of sporting activity (D2 Use Class) with supporting enabling development'.
- 3.8 The River Wandle is located approximately 130m west of the site and within the 1 in 100 year flood extent (flood zone 3a).
- 3.9 The entire site lies within an Archaeological Priority Zone.

4. **CURRENT PROPOSAL**

- 4.1 Demolition of existing buildings and erection of a part 7 (top floor recessed), part 9 (top floor recessed) storey building, including

accommodation at basement level, comprising 93 flats with 18 associated car parking spaces, 165 cycle parking spaces, hard and soft landscaping and associated works.

- 4.2 The design rationale follows on from the master plan of the main Wimbledon stadium site (LBM 14/P4361) including form, layout, massing, height and appearance. Planning Committee resolved to grant planning permission on this application on 10th December 2015. The proposed building would have a modern design approach with the predominate use of brick within the elevations. The proposed building would vary in height with north-south building being 7 storeys and the east-west building being 9 storeys. The top floors of the 7 and 9 storey elements would be set back from the front building line by 4.8 & 5.3m and 9.8m respectively. The proposed building would have a cruciform plan that responds well to the footprint of the master plan for the main Wimbledon Stadium site.
- 4.3 The site boundary with Summertown follows the curving line of the back pavement. The rectilinear plan of the building is carried on a raised ground floor plinth. The basement would accommodate 18 car parking spaces, 3 of which are disabled space, 7 car charging points and 165 cycle spaces. The basement would be accessed by vehicle ramp from the northern section of the site on Summertown. At ground floor level, two loading/drop off bays are provided partly on the application site and partly on the public pavement. The ground floor level of the building, which sits above street level would accommodate entrance lobbies, stairs, lifts and a substation. The upper ground floor level sits 2.2m above pavement level and accommodates 6 flats with raised terraces and private and communal amenity spaces and a plant room. At first floor and levels above, are the remaining flats with private balconies.
- 4.4 Housing mix:

	Units	Percentage	Council Policy
Studio	19	20%	
1 bed	19	20%	33%
2 bed	49	54%	32%
3 bed	6	6%	35%

5. **PLANNING HISTORY**

5.1 46 – 76 Summerstown (Volante Site)

- 5.1.1 14/P4188/NEW - Application for a pre application advice for the demolition of the existing buildings and the erection of 98-112 residential units above the ground floor which will provide a mix of uses – 46 – 76 Summerstown, Tooting

- 5.1.2 88/S/0053 - Erection of a portacabin at rear of existing factory to be used as mess / rest room for staff – Grant - 21/03/1988.
- 5.1.3 87/S/1074 - Alterations including the erection of an extension at the rear of the 1st floor in connection with the refurbishment of the building and its use as 2 light industrial units – Grant - 16/03/1987
- 5.1.4 79/S/1031 - Approval of details of plans pursuant to conditions (c) and (d) of planning permission 78/s/1100, dated 10/11/1978 – Grant - 12/09/1979
- 5.1.5 78/S/1155 - Approval of details pursuant to condition (c) of planning permission 78/s/1100, dated 10/11/1978 – Grant - 12/12/1978
- 5.1.6 78/S/1100 - Erection of a single storey industrial building with ancillary offices at 1st floor – Grant - 10/11/1978
- 5.1.7 MER575/78 - Erection of 3 industrial buildings each with ancillary offices, and formation of access road and provision of parking, loading/unloading area, at 46-76 Summerstown – Grant - 28/09/1978
- 5.1.8 78/S/680 - Erection of 3 single storey industrial buildings with ancillary offices at 1st floor level – Grant - 08/09/1978
- 5.1.9 73/10811 - Use of site at Summerstown as a temporary car park and the erection of an attendant's portable hut – Grant - 22/02/1973.
- 5.2 Greyhound Stadium Site
 - 5.2.1 14/P4361 - Proposed demolition of existing buildings and erection of a 20,000 seat football stadium (initially 11,000 seat) with hospitality, crèche, café, and coach parking, pedestrian street, 1,273m² retail unit, 1,730m² squash and fitness club, 602 residential units with basement parking, refuse storage, 200 car parking spaces, 992 cycle parking spaces, and associated landscaping/open space and servicing – committee resolution to grant permission at planning applications committee meeting December 2015. Note – application has been called in by the Mayor of London, pending decision.
 - 5.2.2 14/P0286 - Application for use of car park for car boot sales on Wednesdays between 10.30 - 14.30 (replacement of extant temporary planning permission 12/p0338 dated 20/03/2012) – Approved
 - 5.2.3 12/P0338 - Application for replacement of extant planning permission 10/P0171 for use of car park for car boot sales on Wednesdays between

- 10.30 - 14.30 – approved 11/p0822 - erection of steel-framed building 9m x 7m to be used for vehicle mot testing and vehicle valeting. – Approved
- 5.2.4 10/P2931 - Retention of 2 x portable buildings for office use. – Approved
- 5.2.5 10/P0171 - Application for replacement of extant planning permission 08/p0231 for use of car park for car boot sales on Wednesdays between 10.30 - 14.30 – approved 10/p0165 - renewal of LBM planning permission 08/p1280, for part use of car park for car boot sales on Saturdays. between the hours of 7.00 am - 1.00 pm – Approved
- 5.2.6 08/P1280 - Renewal of planning permission LBM ref: 07/p0557, use of part of car park for car boot sales on Saturdays. between the hours of 7.00 am - 1.00 pm – Approved
- 5.2.7 08/P0231 - Continued use of car park for car boot sales on Wednesdays between 10.30 - 14.30 – Approved
- 5.2.8 07/P0557 - Renewal of planning permission lbm ref: 04/p2486, use of part of car park for car boot sales on Saturdays. between the hours of 7.00 am - 1.00 pm – Approved
- 5.2.9 06/P3004 - Renewal of temporary planning permission LBM 05/p1744. use of car park for car boot sales on Wednesdays between 10.30 - 14.30 – Approved
- 5.2.10 06/P1971 - Renewal and variation of hours of planning application 05/P1744 for temporary use of car park at junction of Summerstown and riverside road for a 100 car boot fair on Wednesdays between 9.00am and 1.00pm. (previously 10.30am to 3.00pm) – Refused on the following grounds:
1. The proposal will cause an unacceptable increase in morning peak period traffic, leading to added, unacceptable levels of congestion of the existing highway network to the detriment of the users of the highway and the amenity of local residents contrary to policies LU.3 (Transport Impact of New Development) and PE.3 (Pollution and Amenity) of the adopted Merton Unitary Development Plan (October 2003).
- 5.2.11 06/P1029 - Change of use from class b1 to class a5 (takeaway) and erection of external kitchen extraction system including ducting – Approved – 94 Summerstown
- 5.2.12 05/P1744 – Use of car park for car boot sales on Wednesdays between 10.30 - 15.00 – Approved

- 5.2.13 04/P2486 - Renewal of planning permission LBM ref: 03/P0861, use of part of car park for car boot sales on Saturdays. – Approved
- 5.2.14 03/P1911 - Change of use from motorcycle school and repairs to a car rental use and erection of a 1.8 metre high palisade fence. –Approved – 94 Summerstown
- 5.2.15 03/P1334 - Application for a certificate of lawfulness for the existing use of part of the site as a mini cab business in connection with the stadium. – Certificate issued
- 5.2.16 03/P0861 - Use of part of car park for car boot sales on Saturdays. – approved 02/P0597 - use of land for greyhound racing (three evenings a week) and for stock car racing every Sunday from January to the end of may and every Sunday from September to the end of December. – Certificate issued
- 5.2.17 02/P0369 - Change of use of store/workshop building to offices/reception area, for use in connection with the adjoining car hire use, with alterations to the front elevation – Approved
- 5.2.18 01/P2041 - Retention of part of car park for a 200 stall Saturday car boot fair. – Refused, on the following grounds:
1. The use proposed would lead to an unacceptable increase in problems of highway congestion at a time when highway movements in and around Plough Lane are likely to be significantly constrained, contrary to Policy M43 of the Adopted Unitary Development Plan (April 96) and Policy LU3 of the Revised Unitary Development Plan Second Deposit Draft (October 2000).
- 5.2.19 84/S/1504 - Outline application for erection of a superstore with 600 parking spaces and indoor sports facilities underneath the stadium – Refused

6. **CONSULTATION**

- 6.1 The application has been advertised under the major site notice procedure and notification letters to the occupiers of neighbouring properties.
- 6.2 In response to the original consultation, 14 letters of objection and 4 letters of support have been received. The letters of objection raise the following points:
- The sun and day light report is incorrect and misleading. A row of

Victorian terraced houses does lie just behind the small units in commercial use. The sun and daylight report should therefore be extended to include these houses (Keble Street). Concern with overshadowing of residential properties in Keble Street. The angle from properties in Keble Street to the top of the new development is between 35 and 38 degrees, the new development would therefore be well above the 25 degree threshold set by the Building Research Establishment. The distance to properties in Kimble Street are within the distance recommended by the BRE guide to be tested and therefore should be included in the report. (Officer comment: now included, further report submitted)

- The proposed 10 story building will cause overlooking. Properties on the west side (Keble Street) are only 40-45m from the development. The balconies and rooms facing east will directly look into their properties and for those on higher floor will have views across to the west side of the street too. The architects have only considered overlooking of the AFC apartment blocks (obscured glazing) and not other surrounding residents
- The density of the development is 1,248 habitable rooms per hectare. The London Plans standards for developments in an urban area with poor/moderate access to public transport (PTAL of 2/3) is a density range of 200-450 HR/ha. The new development therefore vastly exceeds the specified range for new development. The application contains no justification for the density proposed. The density taken with the main site adds further to the inappropriate density for the development.
- The transport assessment makes no allowance for the current capacity of public transport services. Instead the assessment concludes that the number of additional trips at peak hours from the 112 flats is immaterial (Officer comment: original proposal, now 93 flats) and that no consideration is needed for current capacity. This may be immaterial at current levels however there is a material impact when added to the commuters from the additional 600+ residences, which are being built at the same location on the stadium site, are taken into consideration. The current overcrowding of local transport is already a widely held concern, with several local politicians supporting campaigns to increase capacity where possible.
- The developers should be required to perform a transport assessment using a genuinely comparable site, where all residents are allowed for, where the residents are more reliant on public transport, and to consider the larger development of the stadium in their calculation.
- The numbers and the evaluation in the Transport Statement don't stack up. Based on the occupancy levels, the travel time during peak (5am to 9.30am) would be 58 people per hour via public

transport. Where is the extra half a bus going to come from? Has this additional quantity of people been evaluated in conjunction with the already planned AFC Wimbledon plot?

- How will parking restrictions be imposed on this development with considerations that only 20% of the flats will have access to an available space. Will the other 80% not be allowed to have a car? Will they be seeking to get parking permits within an already congested Wandsworth Council street or using Wandsworth streets after the hours of the parking restrictions?
- Concerns with impact upon services i.e. doctors, dentist, schools within Merton and Wandsworth to meet the demands of the additional residents. Are there provisions to increase services in the area to support all these new developments on the site?
- The design and scale of the new building appear to be focused exclusively on coordinating with the new stadium development and gives little regard to the wider context of the site. This new development brings the bulk of the stadium development much closer to residential properties.
- Visual intrusion due to height, massing and proximity to neighbours
- Impact upon traffic which is already out of control. Summertown is often backed up with traffic from Wimbledon Road/Plough Lane all the way back to Garratt Lane.
- The parking regulations in Summertown will need to be amended because they would be inadequate for additional traffic entering and exiting & using Riverside Road.
- Summertown is a narrow road that struggles in rush hour traffic to cope with the volume of traffic and some evening exiting the Garratt Business Park in the direction of Wimbledon Town Centre can be severely hampered with the existing volume of traffic. Additional cars will try and park on industrial estates causing adverse harm to businesses.
- The site lies within a flood zone and will increase flooding
- Height is out of scale with surrounding and narrow street
- Poor environment for proposed flats. Single aspect flats are undesirable and forbidding internal access corridors with hidden areas, all requiring permanent artificial light (Officer comment: residential redesigned).
- Facilities for children's play are inadequate, the urban proportions of the site appears as SLOAP (space left over after planning) and landscaping is unconvincing
- 21 car parking spaces in totally inadequate for 112 flats
- No attempt to relate the building to the street line and the frontage to the street provides little of interest.
- Existing narrow public footpath is inadequate for the amount of pedestrian movement that would be expected.

6.2.1 The letters of support raise the following points:

- Pleased to see the inclusion of new health facilities as part of the application (Officer comment: health facility now removed).
- The design is excellent and would be in keeping with the adjacent dog track proposals
- The loss of the current warehouse building will alleviate lorry traffic within the area which is already a problem.
- The whole area is in dire need of affordable housing, the more supply the better
- Area is need of regeneration.

6.3 In response to re-consultation, 8 letters of objection received. The letters of objection raise the following points:

- In light of the Mayor of London's decision to call in the proposed development of the stadium, it is requested that this revised application is put on hold until the revised stadium consultation has been concluded. It is hoped that this delay gives the developer the opportunity to address some of the outstanding work that is needed to go into this proposal, such as a full assessment of daylight implications for nearby homes and a substantially improved transport assessment.
- The amount of residential accommodation has not been reduced significantly as claimed. Whilst the number of flats has gone down from 112 to 101 (Officer comment: now 93 flats), the average size of the flats has gone up (1.56 bedrooms per flat to 1.83) and by enough to largely offset the fewer flats. The result of the changes is that the number of residents that can be accommodated in this development has remained largely unchanged. This is an issue as a significant number of the objections raised relate to the scale of this development.
- The original scheme breached (by a considerable margin) the BRE's 25 degree threshold, which requires a full analysis of the daylight impact on nearby residents. This analysis was supported by a letter from a qualified right to light surveyor. The developer has increased the scale of the development in places (to 12 storeys) and decreased it in others. This will obviously lead to a greater daylight impact on those properties immediately facing the 12 storey part of the development. Therefore the developers should be required to perform a full analysis of the daylight impacts on nearby residents, and to modify their development if appropriate (Officer comment: now included).
- The density of the development is vastly in excess of the London Plan. The application has provided no rationale for why the upper limit of the London Plan's requirements should be ignored.

- The inaccurate representation of the reduction in the scale of the development serves to highlight one of the flaws in the transport assessment. The revised assessment indicated the number of public transport journeys will reduce, even though the number of people living in the development will be broadly the same. The report incorrectly assumed the number of journeys is linked to the number of flats, this error, including the previous issue of assuming each flats only contributes one journey, could be (very roughly) overcome by multiplying the number of journeys per mode of transport by the average number of residents per flats (about 3.15). The developer should be required to perform a revised transport plan, and fully consider the impact of the development on existing public transport links.
- The development has increased the height of the building from 10 to 12 in places. The new development will be visually intrusive, out of character, overbearing and will result in an unacceptable loss of daylight/sunlight and overlooking (Officer comment: now revised to part 7, part 9 (top floor recessed)).
- The revised scheme has failed to overcome concerns raised by neighbours.
- The access to and from Summertown for such a large development is inadequate. The area is already heavily congested
- Lack of appropriate car parking leading to loss of existing spaces within the vicinity.
- No community facilities have been provided for (Officer comment: secured by legal agreement).

6.4 Wandsworth Council – Response on revised scheme (part 6, part 12 storey building, residential only scheme, 101 Flats:

- The height of the central tower is excessive within the context and should be reduced (Officer comment: now reduced to 9 storeys with top floor recessed).
- It is unclear why the D2 Healthcare facility was removed from the proposal; this should be justified as the development would put further pressure on local healthcare facilities (Officer comment: contribution secured).
- The safety of Summerstown is already questionable with vehicles travelling quickly along the road. This needs to be further considered and addressed.
- The development should only include 1 x loading bay.
- Pedestrian condition on this road is poor with no safe pedestrian crossing facility and narrow footway on its western side flanking this development.
- This section of highway should also be repaired and resurfaced to remove the ponding around the proposed northern access.

- No consideration has been given to the opportunity to provide affordable housing (Officer comment: see section 8 - affordable housing).
 - If LBM were minded to grant planning permission for this proposed development, it is subject to a legal mechanism that ensures this planning permission cannot be implemented until the redevelopment associated with the Wimbledon AFC is at an agreed stage of implementation. This is currently subject to determination by the Mayor of London.
- 6.5 Sport England - No comment (Officer comment: commensurate contribution towards sport secured by legal agreement)
- 6.6 Network Rail – No objection
- 6.7 Historic England – No archaeological requirement
- 6.8 Merton Clinical Commissioning Group (CCG) and NHS England – comments on original scheme (no response on re-consultation following omission of health care facility):
- 6.8.1 The planning application proposes a 976 m² health facility and 112 housing units, comprising 61 one bed units, 39 two bed units and 12 x 3 bed units. It is noted that the provision of affordable housing is yet to be determined. The population yield from the development is estimated to be 200 using the GLA's Population Yield Calculator (September 2014).
- 6.8.2 Merton CCG and NHS England have been involved in pre-applications discussions regarding the provision of a health facility on the Volante site and welcome the inclusion of the facility as part of the application.
- 6.8.3 Planning permission has been approved on the adjoining Greyhound Stadium site for a new 20,000 seat football stadium, 602 residential units and retail and leisure uses (14/P4361). Together, these developments will generate an additional demand of approximately 1,400 patients. It is acknowledged that the Wimbledon Stadium and Volante proposals will not, by themselves, trigger the need for an on-site facility. NHS organisations have identified the need for a new facility in the area to address a deficiency in the size and condition of current GP premises and to absorb future demand and enable enhanced primary and community services to be provided. The new health facility will consolidate existing GP practices into new purpose-built premises and provide flexible clinical space.
- 6.8.4 There are 10 GP practices within 1 mile of the development site within Merton and Wandsworth. It is considered that four GP practices within two thirds of a mile will be particularly affected by the development proposals. These practices are relatively small and overcrowded, typically operating

in residential areas with little or no opportunity to expand their premises. Two of the premises are branch surgeries with restricted opening hours. The proposed health facility totalling 976 m² would be sufficient to allow the relocation of GP practices from two premises with the flexibility to accommodate the additional demand and service requirements.

- 6.8.5 The Volante site is located in a flood risk area with a high (greater than 1 in 100 year) risk of flooding from the River Wandle. The planning application is accompanied by a flood risk assessment which proposes mitigation measures. The upper ground floor is provided above grade at a height in excess of predicted flood level. The basement car parking area is designed to flood. The main entrance of the building, bicycle store and bin store will be susceptible to flooding in the 1 in 100 year event. A flood event would affect the operation of the health facility by restricting access and requiring evacuation of the premises. It is proposed that flood resilient material be used in the entrance area to reduce property damage and to enable quick clean up following a flood event, enabling normal services to resume. A Flood Warning and Evacuation Plan would be put in place.
- 6.8.6 The proposed health facility is spread over two floors, at upper ground (469 m²) and at first floor level (508 m²). The entrance to the facility is at grade with direct access from Summerstown. The upper ground floor of the health facility is above grade (1.43m) and would have to be accessed via stairs and a lift from the entrance. A potential pedestrian link is proposed between the rear of the health facility and the adjacent Wimbledon Greyhound Stadium development to the west. The health facility demise at lower ground floor also includes stairs and a platform lift to first floor and a dedicated bin store. Two car parking spaces are proposed for the health facility in the semi basement / lower ground floor, of which one is wheelchair accessible.
- 6.8.7 Whilst some design issues have been addressed at the pre-application stage, the following issues require clarification and attention:
- Whether there scope for additional car parking for doctors in addition to the 2 spaces currently allocated. It is assumed that reserved doctors parking on Summerstown would not be available.
 - It is assumed that the column positions for the upper and first floors are the same as for the lower ground floor.
 - Clarify whether there is lift access from the entrance to the upper ground floor health space.
 - Clarify whether the proposed pedestrian link between the health facility and the Greyhound Stadium development is at upper ground floor or first floor (elevation plan suggests first floor whilst floor plan indicates upper ground)
 - Clarify whether there is lift access from the lower ground floor car parking to the health facility.

6.9 Natural England – No comment

6.10 Transport For London (TFL) – comments on original scheme (no response on revised scheme):

Car parking - Standards are in line with London Plan. Clarification on how the spaces allocated to the medical centre will be managed to ensure residents don't occupy them, and suggests a car Parking Management Plan is implemented to monitor the spaces. Permit free development (suggests Merton & Wandsworth consider extending the local CPZ zone) TFL suggests the applicant look into providing two years free car club membership to all residents in order to encourage sustainable travel (travel plans and secured via a S106 agreement).

Cycle Parking – in line with London Plan

Trip Generation – TFL welcomes the multi-model trip generation surveys which have been carried out. TFL are satisfied that the development will not have a significant impact on public transport capacity, considering contributions have already been sought for the Wimbledon stadium development site.

Travel Planning – The applicant has submitted a framework Travel Plan and indicates a commitment to submitting a full travel Plan, which is supported. The final version of the Travel Plan, including all agreed measures therein, should be secured, enforced, monitored and reviewed as part of the section 106 agreement, in accordance with London Plan policy 6.3.

Construction - TFL welcomes the applicant's commitment to submitting a construction Logistics Plan (CLP), which TFL request is secured by condition. Information provided on delivery and servicing, and requests a Delivery and Servicing Plan (DSP) is submitted and secured by condition.

Conclusion – In summary, for the proposals to comply with the transport policies of the London Plan the following matters should be addressed:

- Exclude residents from applying for parking permits in the local CPZ
- Providing a Car Parking Management Plan
- Increase Electric Vehicle Charging Points provision and secure by condition
- Securing Blue Badge and cycle parking provisions by condition
- Providing a free car club membership to residents, secured via Section 106
- Securing the final Travel Plan by section 106

- Securing a CLP and DSP by condition.
- (Officer comment: all secured)

6.11 Council's Design Officer – No objection subject to conditions requiring minor alterations

6.11.1 Environment Agency – (informal comments based on Flood Risk Assessment submitted by the applicant on 6th May 2016) - The applicant has failed to demonstrate the proposed development will not increase flood risk elsewhere.

6.11.2 The main issue is flood storage loss and compensation. Section 14.2.1 states that detailed level for level flood compensation calculations have been carried out, but the method described in 14.2.1 and 14.2.2 is not level for level calculations. It is accepted that the existing building is non-floodable. The flood storage gained/lost due to proposed development should compare the likely flood depth between the existing ground level and the flood level of 1 in 100 plus climate change in the context of existing building layout, and the proposed ground level and the flood level of 1 in 100 plus climate change in the context of proposed building layout.

6.11.3 The table in 14.2.2 seems to suggest that the site floods up to 1m in the existing context, but only floods up to 0.36m in the proposed context. Hence, the submitted FRA states that there is a net gain in flood storage, but I think this is wrong. If the footprint of the buildings increase and the land is raised for landscape, it is obvious that there will be loss in flood storage. The applicant should review the compensation calculation method.

6.12 Council's Flood Officer – Objection until further information has been submitted.

6.13 Council's Climate Officer – No objection subject to condition

6.14 Secure by design (Met Police) – no objection subject to detailed advice

7. **POLICY CONTEXT**

7.1 Adopted Merton Sites and Policies Plan (July 2014)

DM H2 Housing Mix
 DM H3 Support for affordable housing
 DM D1 Urban design and the public realm
 DM.D2 Design Considerations in All Developments
 DM E1 Employment areas in Merton
 DM.EP2 Reducing and Mitigating Noise

DM EP4 Pollutants
DM E4 Local employment opportunities
DM F1 Support for flood risk management
DM F2 Sustainable urban drainage systems (SUDS) and; wastewater and water infrastructure
DM O2 Nature conservation, trees, hedges and landscape features
DM T1 Support for sustainable transport and active travel
DM T2 Transport impacts of development
DM T3 Car parking and servicing standards
DM T5 Access to the Road Network

7.2 Merton Core Planning Strategy (July 2011)

CS1 – Colliers Wood
CS5 – Wandle Valley
CS8 – Housing Choice
CS9 – Housing Provision
CS12 – Economic Development
CS 13 - Open space, nature conservation, leisure and culture
CS14 - Design
CS15 – Climate Change
CS16 – Flood Risk Management
CS18 – Active Transport
CS19 – Public Transport
CS20 - Parking, Servicing and Delivery

7.3 London Plan (2015) and Minor Alterations to the London Plan (March 2016)

3.3 (Increasing Housing Supply),
3.4 (Optimising Housing Potential),
3.5 (Quality and Design of Housing Developments),
3.6 (Children and young people's play and informal recreation facilities)
3.7 (Large residential developments)
3.8 (Housing Choice),
3.9 (Mixed and balanced communities)
3.10 (Definition of affordable housing)
3.11 (Affordable housing targets)
3.12 (Negotiating affordable housing on individual private residential and mixed use schemes)
3.13 (Affordable housing thresholds)
3.17 (Health and social care facilities)
5.1 (Climate Change Mitigation),
5.2 (Minimising carbon dioxide emissions)
5.3 (Sustainable Design and Construction).
5.11 (Green roofs and development site environs)

- 5.12 (Flood risk management)
- 5.13 (Sustainable drainage)
- 5.21 (Contaminated land)
- 6.3 (Assessing effects of development on transport capacity)
- 6.9 (Cycling)
- 6.10 (Walking)
- 6.12 (Road network capacity)
- 6.13 (Parking)
- 7.3 (Designing Out Crime)
- 7.4 (Local Character)
- 7.6 (Architecture)
- 8.1 (Implementation)
- 8.2 (Planning obligations)
- 8.3 (Community infrastructure levy)
- 8.4 (Monitoring and review)

8. **PLANNING CONSIDERATIONS**

- 8.1 The principal planning considerations related to this application are the principle of development, the design of the new building and its impact upon the Summertown Road street scene and adjacent Wimbledon Dog track site, the standard of accommodation provided, impact upon neighbouring amenity, flooding, and parking/highways considerations.
- 8.2 Amendments
 - 8.2.1 Following discussion with the Councils design officer and the applicant, the scheme has been amended in the following ways:
 - Change to the design approach for the building with reductions in the buildings height, form, siting and massing. Rather than a singular form, the design of the building has now responded to the form and layout of the master plan for the main site with a form that responds to the north-south and east-west pattern of development of the adjoining Wimbledon Stadium proposals.
 - The number of flats have been reduced from 112 to 93 (including changes to the layout as a result of the change of building form)
 - The number of car parking spaces has been reduced from 23 to 18.
 - The health care facility has been omitted from the scheme (contribution secured).
 - Two new off street loading/ drop off bays on Summertown frontage have been introduced.
 - Reduction on the number of cycle parking spaces from 187 to 165.

8.3 Principle of development

- 8.3.1 The Volante site forms part of the wider site known as Wimbledon Stadium. The Wimbledon Stadium is identified as Site Proposal 37 in the Sites and Policies Plan, which sits alongside the Core Strategy. The site allocation is for “Intensification of sporting activity (D2 Use Class) with supporting enabling development’.
- 8.3.2 In terms of the site allocation and the Wimbledon Stadium site, at the planning applications committee meeting in December 2015, members of the planning committee resolved to grant planning permission, LBM ref 14/P4361, subject to conditions and S106 agreement for the demolition of existing buildings and erection of a 20,000 seat football stadium (initially 11,000 seat) with hospitality, crèche, café, and coach parking, pedestrian street, 1,273m² retail unit, 1,730m² squash and fitness club, 602 residential units with basement parking, refuse storage, 200 car parking spaces, 992 cycle parking spaces, and associated landscaping/open space and servicing.
- 8.3.3 The Volante site currently provides a source of employment and the proposal seeks planning permission for a solely residential development. The proposed scheme would result in the loss of employment, however this was considered under the main Wimbledon Stadium application, 14/P4361 and against the sites adopted site allocation. The planning committee report for the development stated that the redevelopment of the stadium site would provide an opportunity for a much higher level of employment to be generated than existing. The loss of existing business is regrettable however the proposed development is in accordance with its policy allocation and due to its scale, would generate a significant level of employment during its construction phases in particular. Once operational, the development would also result in a high level of local spending. The same principles with apply to the Volante site with its allocation forming part of the overarching Wimbledon Stadium site.
- 8.3.4 Given the scale and nature of planning approval 14/P4361, the application has been ‘called in’ for decision by the Mayor of London. To date, the Mayors decision is pending.
- 8.3.5 Planning approval 14/P4361 is therefore a material consideration in the planning assessment of the Volante site. The application site sits within the overarching site proposal 37 ‘Wimbledon Stadium’ for sporting intensification with enabling development. The sport intensification for the Wimbledon Stadium site has been provided under planning approval 14/P436, however due to the site constraints of the Volante site it is not practical to provide sporting facilities onsite. Therefore in order to fulfil the site’s adopted policy allocation of sporting intensification, a financial

contribution in line with Sport England's calculator will be required and secured via a s106 agreement.

- 8.3.6 The Volante site would provide 93 new flats. The requirement for additional homes is a key priority of the London Plan and the recently published Further Alterations to the London Plan (FALP) seeks to significantly increase the ten year minimum housing target across London from 322,100 to 423,887 (in the period from 2015 to 2025), and this equates to an associated increase in the annual monitoring target across London to 42,389. The minimum ten year target for Merton has also increased by more than 30% to 4,107, with a minimum annual monitoring target of 411 homes per year. The delivery of new residential units at this site will contribute to meeting housing targets and the mix of unit sizes will assist in the delivery of a mixed and balanced community in a sustainable location. New housing is considered to be in accordance with the objectives of the NPPF, London Plan targets, and LBM policy.
- 8.3.7 The principle of development is therefore considered to be acceptable. In order for the Council to ensure that there is a comprehensive development of site proposal 37 'Wimbledon Stadium', the applicant has formally agreed to allow the Council to only release the formal decision notice and conclude the legal agreement until such a time when the Council are fully confident that a comprehensive development is deliverable.

8 4 Heath Care Facilities

- 8.4.1 The original planning submission for the Volante site included the provision of a 469sqm and 508 sqm health care facilities (Class D1) at ground and first floor levels respectively. However following discussion with the applicant, the health care facility has been removed from the scheme. The applicant states that:
- Detailed discussions have taken place with the NHS for some time but they are not able to confirm that a primary care facility is needed here or that they have funding/ agreement to operate from the facility, bearing in mind by their own acknowledgement they are likely to have to pay for the fit out;
 - The commercial terms are completely unacceptable in that there is no firm commitment to take the facility and it would be on a peppercorn rent instead of the assumed 6% yield;
 - The LBM's policy position does not identify a need for such a facility in this location
 - The amendments to the design and the shape of the site make it very difficult to accommodate a health facility in this version of the scheme,

- There are alternative facilities being provided nearby on other development sites.
- 8.4.2 It is regrettable that the proposal no longer provides a health care facility on the Volante site, however it must be noted that the applicant has actively sought to provide an on-site facility. In addition to the above, the Council has not received a formal response from the NHS in regards to the removal of the health care facility and it was voluntarily included in the original proposal. It is therefore assumed that the NHS are still not in a position to be able to commit to take on a health care facility.
- 8.4.3 There is no policy requirement for a health care facility to be provided onsite. Between 2011 and 2014, the NHS responded to consultations on the allocation of this site as Site 37 in Merton's *Sites and Policies Plan*, and of other sites in the borough and their responses did not require additional primary care facilities to be located as part of this site. In addition there are no documented plans from the NHS to provide additional primary care facilities in this location (unlike, for example, the provision at the Nelson Hospital, or at the proposed Mitcham Local Care Centre).
- 8.4.4 The Committee Report for the Wimbledon Stadium site (14/P4361, including paragraphs 24.47 to 24.54) stated that the need for primary health care space arising from the 602 residential units proposed would be for 130sqm of floorspace. NHS England stated that it would not be feasible for the required 130m² floor space to be accommodated through the extension of existing GP surgeries because many of them are located within residential units which have been converted to surgeries and the scope for built extension is limited. 130m² is also considered to be too small an amount to justify the creation of a new GP surgery or to provide 130sqm within the development site due to the very small floorspace relative to the cost of GP relocation and fit out
- 8.4.5 As such, NHS England raise no objections to the proposed development on healthcare provision grounds subject to a financial contribution of £402,500 for primary health care secured through the Wimbledon stadium Section 106
- 8.4.6 The Wimbledon Stadium Committee Report stated "It is proposed that should the Volante site come forward for development, this would include an onsite health care facility (1000m²), and the commuted sum paid by the applicant here would be used by NHS England to contribute towards the fit out of, and GP relocation to, that facility. This approach has been agreed in principle by the applicants NHS England, Merton CCG, Wandsworth CCG, and the potential developer of the Volante site through pre-application discussions with LBM.

8.4.7 Should the Volante site not come forward for development the money would be held in an escrow account by LBM (along with other S106 monies generated by the development and to be claimed by outside parties) until a location/scheme for additional healthcare facilities within LBM/LBW and within the vicinity of the site comes forward. Should this not occur within 5 years of the completion of the development the monies would be used towards maximising the level of affordable housing provision supported by the development within the borough, in accordance with Adopted Core Strategy 2011 policy CS8.

8.4.8 Therefore in light of the above, a similar approach is taken on this site in securing a financial contribution to be agreed with the NHS. The contribution is to be paid in lieu of on-site provision and to be secured through a S106 legal agreement.

8.5 Design

8.5.1 The overarching principle of national and local planning policy is to promote high quality design. Planning policy DM D2 (Design considerations in all development) of Merton's Sites and Policies Plan states that amongst other considerations, that proposals will be expected to relate positively and appropriately to the siting, rhythm, scale, density, proportions, height, materials and massing of surrounding buildings and existing street patterns, historic context, urban layout and landscape features of the surrounding area.

Context

8.5.2 The existing built environment comprises a mixture of commercial and residential building up to three storey's in height. As set out above, the Volante site sits within the broader Wimbledon Stadium site. The Wimbledon Stadium approval (14/P4361) produced a master plan which was designed to allow for the possibility of the potential future development of the Volante site. The site sits on the eastern edge of the master plan and fronts directly onto Summertown. The Wimbledon Stadium approval comprises a new Football stadium, Squash and fitness club, retail unit, and 602 flats in 3 new residential blocks (6 to 10 storey's in height) with associated landscaping, public open space and public pedestrian connection between Riverside Road and Plough Lane.

Architectural Style, Height, form and massing

8.5.3 The design of the building has been subject to significant redesign and seeks to follow the principle established under the master plan of the Wimbledon Stadium site. The buildings on the master plan have a modern

appearance with a strong pattern of north-south buildings and an overlaid series of east-west buildings which vary in length and height. The proposed building responds to the master plan with a similar vocabulary of design element/treatment. The buildings form and layout would link with the north-south and west-east buildings of the master plan. The proposed 7 storey north-south element of the building (top floor recessed) would sit parallel with the two offset adjacent blocks of the master plan to the north and south. The proposed 9 storey central core (top floor recessed) would sit parallel with the 9 and 10 storey east-west building of the master plan. In principle, the proposed building would reinforce the design rationale of the master plan and would respect the general pattern of development in the area. At ground floor level the excessive hard standing of the existing site would be replaced with an active building frontage and new landscaping (soft and hard) which is considered to improve the street scape.

- 8.5.4 Care has been taken to ensure that the finer architectural details of the proposed building reflect, but do not necessarily match the main site to ensure that design is of sufficient standards in its own right. Planning conditions requiring further details of the buildings internal arrangements, elevations and materials would ensure that the development achieves a high quality design, integrates positively with the adjacent development of the main site and improves the visual amenities of the street scape and wider area.

Density

- 8.5.4 The amendments to the scheme reduce the density of the site to 1,104hrph. It is acknowledged that this is above the notional density range set out within Table 3.2 of the London Plan. However, as acknowledged by paragraph 3.28 of the London Plan, the use of the density ranges is 'only the start of the planning housing development' and 'it is not appropriate to apply table 3.2 mechanistically'.
- 8.5.5 Achieving appropriate densities on site should be design led and based upon a raft of appropriate considerations, particularly in relation to design and achieving appropriate amenity standards, including impacts on surrounding properties as well as those within the proposed development. It should also be noted that Table 2.4 of the most recent Annual Monitoring Report for the London Plan, identifies compliance of schemes comprising 15 units or more with the London Plan density matrix. This table identifies that since monitoring started in 2006/ 2007 over 56% of schemes have achieved a density above the range identified in the density matrix. The exception was in 2012/2013 when 39% achieved above the identified range, which is still a significant proportion.

8.5.6 Development schemes on a pan London basis are therefore regularly achieving densities above the notional range identified in Table 3.2 in the London Plan but are still considered satisfactory in planning terms.

8.6 Neighbour Amenity

Wimbledon Stadium

8.6.1 The proposed development has been designed to respond to the form, massing and layout of the proposed residential development on the main site (master plan).

8.6.2 The proposed 7 storey north-south building elements would be distanced 1.960m and 3.910m from the flank walls of the adjacent building blocks (blocks N & E) on the main site to the north and south of the application site respectively. Block N has no side facing windows towards the application site; therefore there would be undue loss of amenity. Block E has side facing windows, however given the use of the rooms and level of separation from the proposed building it is considered that there would be no undue loss of amenity. In order to ensure that there is no undue loss of privacy between neighbours, the proposed side windows facing block E can be conditioned to be obscured glazed.

8.6.3 To the west of the application site, the north-south building blocks (blocks J & G) within the main site are separated from the application site by a large soft landscaped courtyards and private gardens. Blocks J & G would be distanced between 7m and 13m from the site boundary of the application site and approximately 30m from the west facing balconies within the 7 storey element of the proposed flats. Given the soft landscaping buffer and level of separation, it is considered there would be no undue loss of amenity for potential occupiers within either development.

8.6.3 The 9 storey west-east element of the proposed building would be distanced at least 4.630m from the adjacent west-east building block (block H) on the main site. There is no east facing windows within the adjacent building block H on the main site. Therefore there would loss of privacy between neighbours. The proposed 7 storey elements would be located to the east of block H and is well distanced away from the block H to ensure that there is no undue loss of light.

Summertown

8.6.4 The neighbouring properties on the opposite side of Summertown are large single storey commercial units. The proposals would include two on-off street loading/drop off bays and a vehicle access towards the northern

section of the site. The proposed loading-drop off bays and new basement parking access is not considered to conflict with the operation of the adjacent commercial units. In addition, given the commercial nature of the units, there would be no undue loss of amenity in terms of light and visual intrusion.

Keble Street

- 8.6.5 Properties in Kimble Street to the east of the application are located at least 42m (varying building line) from the front edge of the application site boundary (23m from rear gardens) and sit beyond the existing commercial units fronting the east side of Summertown. The existing commercial units sit within close proximity of the rear gardens of properties in Keble Street and therefore the existing situation is a material consideration in terms of light and outlook received to properties in Kemble Street. The application is located on the west side of Summertown, separated from properties in Kemble Street by a public highway and large commercial units on the east side of the street. There would be a separation distanced of at least 42m away from the nearest property in Keble Street and at least 23m from rear gardens. Given this significant separation distance, it is considered that there would be no undue loss of privacy or overlooking within this urban situation.
- 8.6.6 Following objections from neighbours regarding loss of light and breach of BRE guidance, the applicant has commissioned a sun and light report which has assessed 14 – 44 (even numbers) Keble Street.
- 8.6.7 The report states that the majority of these residential properties will remain within the BRE Guidelines for all Daylight and Sunlight criteria as specified in the BRE Guidelines. One property, 22 Keble Street, would experience minor transgressions. In regards to 22 Keble Street and the Vertical Sky Component (VSC) criteria, all eight windows analysed meet the BRE Guidelines. With regards to Sky Line (NSL), one room on the first floor will experience a transgression of the BRE Guidelines. This room does so marginally, experiencing a 24.43% loss against a target value of 20%. However, this room will retain a relatively high level of No NSL, at 72.88% sky visibility. Given this high retained value and due to the fact that the windows serving this room meet the BRE Guidelines regarding the VSC criteria, they found the daylight impacts to this property minor in nature.
- 8.6.8 Regarding Annual Probable Sunlight Hours (APSH), seven windows in 22 Keble Street were assessed, with six of these within the criteria as per the BRE Guidelines. One window on the ground floor will experience a transgression in the number of winter sunlight hours it would receive. It would be reduced to retain 4% winter APSH which is marginally below the

suggested 5%. In addition, there is a high level of retained annual APSH, being 31% well in excess of the suggested 25%. There is also an additional window serving this room which achieves BRE compliance. The sunlight impact to this property was be considered a minor breach in guidance.

8.6.9 In conclusion, the report states that there are clear mitigating factors for non-compliance with the BRE guidelines. Regarding daylight, whereby one room NSL transgression occurs, the retained levels of NSL within this room is high, while the windows serving this room meet the BRE Guidelines for VSC. Regarding sunlight, only one window would experience a minor transgression to winter sunlight hours, but would retain very high levels of annual sunlight hours, well in excess of the suggested target. With respect to the above, they found the Daylight and Sunlight impacts to the surrounding properties acceptable.

8.6.10 In conclusion, given the level of separation and reduced height and massing of the building, it is considered that there would be no detrimental loss of day or sunlight to properties in Kemble Street to warrant refusal of planning permission.

8.7 Standard of Accommodation

8.7.1 In terms of the quality of the accommodation proposed, it is considered that the proposed flats would provide a satisfactory standard of accommodation for future occupiers. The proposed flats would exceed/meet minimum London Plan Gross Internal Area, room size and amenity space standards. Each habitable room would receive suitable light levels, adequate outlook and would be capable of accommodation furniture and fittings in a suitable and adoptable manner.

8.8 Transport

8.8.1 Whilst PTALS provides a useful tool to measure a sites connectivity by public transport , it does not consider opportunities by walking and cycling nor public transport choices just beyond 8 and 12 minute walk distances used for calculating PTAL. In the case of the applicants site Haydon's Road Station sits just beyond this limit (at around 1km), 1.3km to Earlsfield and Tooting LUL Station at 1.5km. It is considered that given these additional high frequency services residents will be more willing to make these longer journey, especially by cycle.

8.8.2 As with the stadium development the number of parking spaces proposed considered car ownership levels of the nearby residential development on the corner of Plough Lane and Haydon's Road, which is considered reasonable. This comparison suggests the proposed level of parking

- would be acceptable and complies with London Plan maximum standards.
- 8.8.3 Any new trips during the peak hours are expected to be offset by the loss of existing trips associated with the current Volante operations. The small increase shown in the evening peak is not considered significant when compared to typical daily movements across the local road network. Similarly, when dispersed across public transport alternatives, new public transport journeys are not expected to have a material impact. It is also noted that many of the existing vehicle trips are undertaken by HGV's.
- 8.8.4 The application includes a Travel Plan, which sets out a series of actions and targets to support sustainable travel alternatives. The applicant has also given an undertaking that residents would not be eligible for on-street parking permits. This can be secured through the s106 agreement. Also as the application site falls within the borough of Merton, residents would not be eligible to apply for parking permits in neighbouring streets within the London Borough of Wandsworth (to qualify for a parking permit any resident must reside within the CPZ in which they live). In addition as part of the planning obligations for the stadium development there will be a review of parking controls in the area. This includes streets surrounding the Volante site
- 8.8.5 The latest proposals include 2 loading bays. Land will need to be dedicated to the public highway around the bays to guarantee that pedestrians can pass when the bays are in use. This can be secured through the s106 agreement.
- 8.8.6 As an outcome of the mitigation measures proposed including the Travel Plan, low level of on-site parking and stadium parking review this development is not expected to have a severe impact on transport conditions. Therefore the Councils transport planning section have no objection.

8.9 Flooding

- 8.9.1 The Environment Agency's (EA) published flood map for planning (rivers and sea) indicates that the development site lies within Flood Zone 3a (high probability). According to the Environment Agency's published risk of flooding from surface water map, Summerstown (the highway) is shown to have a high risk of surface water flooding, meaning that each year, this area has a chance of flooding of greater than 1 in 30 (3.3%) however the site itself is shown to have a low risk of surface water flooding. The application has been assessed and reviewed on the basis that the AFC Wimbledon/Galliard application will be undertaken.

- 8.9.2 The existing site is a brownfield site which is currently occupied by a light industrial warehouse building and is regarded as wholly impermeable . The site was allocated in Merton Sites and Policies Plan, as Site 37, for the intensification of sporting activity (D2 Use Class) with supporting enabling development. The inspector acknowledged in his report on the examination into Merton Sites and Policies Local Plan that flooding is a key constraint. The inspector did not consider the potential of residential use reason to find the allocation unsound and stated that the amount would be acceptable according to the design and layout of particular proposals.
- 8.9.3 Based on this and the fact that the site is also now not shown to be within the functional floodplain (zone 3b) in accordance with the most up to date Environment Agency flood modelling, we do not consider it appropriate to object on inappropriate development in line with the NPPF given the enabling uses were considered and not found unsound by a planning inspector. It is accepted that the application of the Exception Test is required due to more vulnerable uses being located in Flood Zone 3a.
- 8.9.4 The aim of the Sequential Test is to steer new development to areas with the lowest probability of flooding. Development should not be allocated or permitted if there are reasonably available sites appropriate for the proposed development in areas with a lower probability of flooding. The Strategic Flood Risk Assessment will provide the basis for applying this test. A sequential approach should be used in areas known to be at risk from any form of flooding.
- 8.9.5 The sequential test was carried out as part of the site allocations process and no other suitable site for sporting intensification with enabling growth has been identified. The NPPG (paragraph 033) states that the 'Sequential Test does not need to be applied for individual developments on sites which have been allocated in development plans through the Sequential Test.'
- 8.9.6 The council therefore consider the site to have passed the sequential test.
- 8.9.7 The applicant has commissioned and submitted a Flood Risk Assessment (FRA) by Dixon Hurst Kemp Ltd (Dated May 2016 Issue No. 7 Ref: 45369). The latest version of the Flood Risk Assessment was submitted by the applicant on Friday 6th May following comments on the previous version by the Council's flood risk management engineer who has responded on behalf of the Lead Local Flood Authority (LLFA).
- 8.9.10 At the time of writing, the Environment Agency have not yet issued a formal response based on the late submission (6th May 2016) of the FRA (but they have informally raised an objection that the applicant has failed

to demonstrate the proposed development will not increase flood risk elsewhere, see section 6.11.1 to 6.11.3 of committee report for informal comments). The Environment Agency are statutory consultees on the application due to the site being a major development in Flood Zone 3a. The Environment Agency's role is the lead technical advisor on issues relating to main river flooding, while Merton as LLFA lead on local flood risk sources such as surface water and groundwater, as well as ordinary watercourses

8.9.11 Further to review of the latest version of the revised report and updated drawings, the LLFA has some technical concerns over the approach and methodology undertaken for the floodplain compensation calculations undertaken, however, if the local planning authority is minded to approve this application, we would advise that several flood risk and drainage related conditions are placed on any approval granted. In accordance with the NPPF and PPG, the aim of the FRA is assess the flood risk posed to the proposed development by evaluating the risks of all forms of flooding to and from the development and to demonstrate how these flood risks will be managed so that the development remains safe throughout its lifetime taking climate change into account.

8.9.12 The proposal seeks to take a similar approach to flood risk as the adjoining AFC Wimbledon/Galliard proposal with regards to suitable mitigation measures to address the issues associated with river flooding and surface water flooding. Accordingly, the proposal comprises a similar lower ground level for parking, with residential units above and floodable voids/grilles located at ground level. Environment Agency guidance states that void openings should be 1m wide by the height of the predicted depth of flooding extending from the existing ground level and there should be a 1m opening in every 5m length of wall on all sides. These floodable voids will allow the basement to flood (from river flooding) to ensure no increase in flood risk elsewhere and must therefore be left open and maintained in perpetuity.

8.9.13 The Flood Risk Assessment has undertaken floodplain compensation calculations based on the existing and proposed scenarios. The aim of the calculations is to appropriately demonstrate that there is no net loss of flood storage as a result of the development. It should be noted that the LLFA has made several comments on this aspect of the proposal from pre-application and has continued to do so as the scheme has been revised since submission. Existing ground levels are in the order of 9.0m AOD and 9.2m AOD. The calculations include a 1m non-floodable depth on the existing scenario. This has been queried by the LLFA as the calculations should only assess losses and gains in flood storage between the lowest existing ground level and the 1 in 100 year climate change flood level i.e. 9.00 – 9.36m AOD. The calculations have adopted a volumetric

approach not a level for level approach. According to our calculations, the scheme results in a net loss of 52.48m³ of floodplain storage, not a gain of 645.76m³ as stated in the FRA. Therefore LLFA does not agree with the methodology and approach undertaken for these calculations to date.

- 8.9.14 The scheme drawings submitted on behalf of the applicant show that the site will be a flush level of 9.0m AOD at the front i.e. the boundary with Summerstown and 11.09m at the rear of the site i.e. a flush level at the boundary with the adjoining AFC Wimbledon/Galliard proposals (see Landscape Sections CZWG drawing number: 2110-00-SK-0005). These sections show the location of a vertical flood grille through to the basement level at the rear of the site. It is unclear why this is required for river flooding mitigation as it is located above the flood level and furthermore may cause practical issues as rainfall and surface flows may enter the basement and cycle store frequently even during light rainfall.
- 8.9.15 Notwithstanding the above, the LLFA is of the view that measures are proposed to ensure that future occupants of the residential accommodation are not put at undue risk from flood events. This will be achieved through elevated finished floor levels for all residential units above the 1 in 100 year climate change flood level of 9.36. There will be no habitable rooms at ground floor level. As mentioned above, the basement has been designed to flood. Residential units are to be located on the upper ground floor and above and will have a minimum finish floor level of 11.279m AOD, which is approximately 1.919m above the flood level of 9.36m AOD for a 1 in 100 (1%) annual probability event plus an allowance for climate change. Safe access and egress has been assessed and the peak flood depth is 0.45m on Summerstown. While it is proposed that residents remain in their accommodation until the flood peak has passed, it is considered that emergency vehicles can access the site throughout the duration flood peak.
- 8.9.16 With regards to drainage, the application is in accordance with the London Plan policy 5.13 and Merton's policy DM F2. The proposed drainage scheme aims to reduce offsite runoff rates by reducing the impermeable surface area and through implementing Sustainable Drainage Systems (SuDS). The surface water run-off from the existing building and hard standing areas discharges unrestricted into the 1370 mm x 760mm Thames Water public sewer culvert located at the rear of the site. Foul water from the existing building discharges into the 1050mm diameter Thames Water public sewer in Summerstown located at the front of the site.
- 8.9.17 The neighbouring AFC Wimbledon/Galliard redevelopment proposes to realign/divert the existing culverted surface water public sewer which runs through the rear of the site. A short section which serves the existing

Volante building is to be retained and reconnected into the diverted sewer to the east of the site. It is therefore critical that any associated enabling works to the sewer and associated new connections are undertaken by AFC/Galliard, subject to the approval of Thames Water. The peak discharge rate will be restricted to 5l/s, prior to discharge to the Thames Water sewer. A total volume of 87m³ is required for attenuation and this will be provided by the proposed green roof in combination with permeable paved areas.

8.10 Archaeology

8.10.1 The site lies within the Wandle Valley Archaeological Priority Area, however Historic England have confirmed that there are no archaeological requirements.

8.11 Children's Play Space

8.11.1 The amended scheme provides sufficient on-site amenity with a 170sqm area at the rear of the site. Subject to conditions relating to further details and secures the delivery and maintenance of this play space, this would be acceptable

8.12 Energy/Sustainability

8.12.1 The applicant has provided an Energy and Sustainability Statement with the application. The report states that low environmental impact is key to the design of the proposed 46-76 Summerstown residential development. The Energy and Sustainability Statement outlines the development's approach to sustainability, energy efficiency and renewable energy strategies in order to meet the targets set out in the guidance from the London Borough of Merton.

8.12.2 To benchmark this process, the Code for Sustainable Homes (CfSH) methodology has been used and the development is likely to achieve Code for Sustainable Homes 'Level 4' rating. The CfSH considers the broad environmental concerns of climate change, pollution, impact on occupants and the wider community. This is balanced with the need for a high quality, safe and healthy internal environment. These standards go beyond the requirements of the Building Regulations. The Councils Climate Change officer has confirmed that he has no objection subject to conditions.

9.13 Contamination

9.13.1 The applicant has provided a Phase I Desk Study and Site

Reconnaissance Report with the planning application. The site is anticipated to be underlain by Alluvium, although Head deposits and Kempton Park Gravel may also be present. The bedrock deposits comprise London Clay. Historic maps indicate that a culverted river may be present beneath the site, although this is likely used as Thames Water sewer.

- 9.13.2 The desk based information has been used to compile a preliminary Conceptual Site Model. The key risk drivers are likely to be organic, metal and asbestos contamination within shallow Made Ground. Contamination of site soils and the underlying aquifer may also have occurred due to possible historic storage and use of oils and solvents.
- 9.13.2 Potential sources of ground gases have been identified. These include the potential presence of an increased thickness of Made Ground from the historic redevelopment of the site, or from infilling of the historic stream and the possible presence of alluvial. However it is noted that the extent of and such source material may be significantly reduced through basement excavation.
- 9.13.3 The Councils Environmental Health Officer confirms that there is no objection subject to conditions.

10. Affordable Housing

- 10.1.1 Planning policy CS 8 (Housing Choice) of Merton's Core Planning Strategy states that development proposals of 10 units or more require an on-site affordable housing target of 40% (60% social rented and 40% intermediate). In seeking affordable housing provision, the Council will have regard to site characteristics such as site size, its suitability and economics of provision such as financial viability issues and other planning contributions.
- 10.1.2 The amount of affordable housing this site can accommodate has been subject of a viability assessment. Following extensive discussions and robust interrogation of information, the Councils independent viability assessor stated that a policy compliant 40% affordable scheme is not viable. The nil provision of affordable housing in this instance meets the objectives of planning policy CS 8 (Housing Choice).
- 10.1.3 The report identifies that even with a nil affordable housing contribution the scheme cannot provided the normally 'accepted' 20 % developer profit. There is therefore an inherent risk the development will not come forward. In the circumstances it is considered prudent for the legal agreement to include suitable clawback provision to capture any financial surplus that could not be readily be converted into on-site affordable

housing.

10.1.4 Officers recommend the use of a clawback mechanism on the basis of the stated purpose of London Plan Policy 3.12 which supports such mechanism. It states that to take into account of economic uncertainties, and in respect of schemes presently anticipated to deliver low level of affordable housing, these provisions maybe used to ensure that maximum public benefit is secured over the profit of the development.

11. Local Financial Considerations

11.1 The proposed development is liable to pay the Merton and Mayoral Community Infrastructure Levy (CIL), the funds for which will be applied by the Mayor towards the Crossrail project. Merton's Community Infrastructure Levy was implemented on 1st April 2014. This will enable the Council to raise, and pool, contributions from developers to help pay for things such as transport, decentralised energy, healthcare, schools, leisure and public open spaces - local infrastructure that is necessary to support new development. Merton's CIL has replaced Section 106 agreements as the principal means by which pooled developer contributions towards providing the necessary infrastructure should be collected.

12. **SUSTAINABILITY AND ENVIRONMENTAL IMPACT ASSESSMENT REQUIREMENTS**

12.1.1 The proposal is for residential development with a site area of 00.23 hectares and an Environmental Impact Assessment is not required in this instance.

12.1.2 The application does not constitute Schedule 1 or Schedule 2 development. Accordingly, there are no requirements in terms on EIA submission.

13. **CONCLUSION**

13.1.1 The proposed development will provide 93 new dwellings which are considered to satisfactorily relate to the context of the site reinforcing the design principles established for the adjacent Wimbledon Stadium site. The standard of residential accommodation proposed is considered to meet the needs of future occupiers, with an appropriate level of amenity space and room sizes with good levels of outlook and light. There would be no undue impact upon neighbouring amenity, flooding, traffic or highway conditions. The proposal is in accordance with Adopted Sites and Policies Plan, Core Planning Strategy and London Plan policies. The proposal is therefore recommended for approval subject to conditions.

RECOMMENDATION

GRANT PLANNING PERMISSION –

1. Subject to further flooding information being submitted and reviewed/approved by the environmental agency and Council's flood engineer.
2. The application being referred to the Mayor of London, in accordance with the Mayor of London Order 2008
3. Subject to the Council only releasing the formal decision notice and conclude the legal agreement until at such a time when the Council are fully confident that a comprehensive development is deliverable.
4. Subject to the completion of a Section 106 Agreement covering the following heads of terms:-
 1. Designation of the development as permit-free and that on-street parking permits would not be issued for future residents of the proposed development.
 2. That the developer makes an financial contribution towards Health Care (figure to be confirmed and agreed with NHS)
 3. Car Club – submission of full details.
 4. Loading Bays - Land will need to be dedicated to the public highway around the bays
 5. That the developer makes a financial contribution towards Sport provision as required by the site allocation (figure to be confirmed and agreed by Sport England)
 6. Affordable housing viability review mechanism
 7. Travel Plan – submission of a full travel plan
 8. The developer agreeing to meet the Councils costs of preparing, drafting and monitoring the Section 106 Obligations.
4. And subject to the following conditions:
 1. A.1 Commencement of Development

2. A7 Approved Plans
3. B1 Materials to be approved
4. B4 Details of Surface Treatment
5. B5 Levels
6. B5 Details of boundary treatment
7. C06 Details of refuse & recycling
8. C07 Refuse implementation
9. C08 Use of Flat Roofs
10. D11 Construction Times
11. H07 Cycle Parking to be implemented
12. Flood Warning and Evacuation Plan:
- 14 Parking Management Plan
- 15 Construction Logistic Plan
- 16 Delivery & Servicing Plan
- 17 Due to the potential impact of the surrounding locality on the development the recommendations to protect noise intrusion into the dwellings as specified in the WSP noise impact assessment report No: 70009681 dated 16/12/15 shall be implemented as a minimum standard. Details of the final scheme shall be submitted for approval to the Planning Authority prior to the commencement of the development.

Reason: To protect the amenities of future occupiers and those in the local vicinity.
18. Noise levels, (expressed as the equivalent continuous sound level) LAeq (15 minutes), from any new plant/machinery from the proposed health centre use shall not exceed LA90-10dB at the boundary with the closest residential property.

Reason: To protect the amenities of future occupiers and those in the local vicinity.

19. Prior to commencement of development an air quality assessment shall be submitted to and approved in writing by the Local Planning Authority. The assessment should include dispersion modelling and be carried out with regard to all relevant planning guidance, codes of practice and UK air quality objectives. The assessment report shall include recommendations, appropriate remedial measures and actions to minimise the impact of the development on the surrounding locality and occupants of the building itself. The agreed recommendations and remedial measures shall be completed prior to first occupation of the property

Reason: To protect the amenities of future occupiers and those in the local vicinity.

20. Any external lighting shall be positioned and angled to prevent any light spillage or glare beyond the site boundary.

Reason: To protect the amenities of future occupiers and those in the local vicinity.

21. An investigation and risk assessment, in addition to any assessment provided with the planning application, must be completed in accordance with a scheme to assess the nature and extent of any contamination on the site, whether or not it originates on the site. The contents of the scheme are subject to the approval in writing of the Local Planning Authority. The investigation and risk assessment must be undertaken by competent persons and a written report of the findings must be produced. The written report is subject to the approval in writing of the Local Planning Authority. This must be conducted in accordance with DEFRA and the Environment Agency's 'Model Procedures for the Management of Land Contamination, CLR 11'.

Reason: To protect the amenities of future occupiers and those in the local vicinity.

22. Subject to the site investigation for contaminated land, if necessary, a detailed remediation scheme to bring the site to a condition suitable for the intended use by removing unacceptable risks to human health, buildings and other property and the natural and historical environment must be prepared, and is subject to the approval in writing of the Local Planning Authority. The scheme must include all works to be undertaken, proposed remediation objectives and remediation criteria, timetable of works and site management procedures. The scheme must ensure that the site

will not qualify as contaminated land under Part 2A of the Environmental Protection Act 1990 in relation to the intended use of the land after remediation.

Reason: To protect the amenities of future occupiers and those in the local vicinity.

23. Any approved remediation scheme must be carried out in accordance with its terms prior to the commencement of development, unless otherwise agreed in writing by the Local Planning Authority.

Reason: To protect the amenities of future occupiers and those in the local vicinity.

24. Following the completion of any measures identified in the approved remediation scheme, a verification report that demonstrates the effectiveness of the remediation carried out must be produced, and is subject to the approval in writing of the Local Planning Authority.

Reason: To protect the amenities of future occupiers and those in the local vicinity.

25. In the event that contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing immediately to the Local Planning Authority. An investigation and risk assessment must be undertaken in accordance in accordance with DEFRA and the Environment Agency's 'Model Procedures for the Management of Land Contamination, CLR 11' and where remediation is necessary a remediation scheme must be prepared, which is subject to the approval in writing of the Local Planning Authority.

Reason: To protect the amenities of future occupiers and those in the local vicinity.

26. No development shall take place until a Demolition and Construction Method Statement has been submitted to, and approved in writing by, the local planning authority. The approved Statement shall be adhered to throughout the demolition and construction period.

The Statement shall provide for:

-hours of operation

- the parking of vehicles of site operatives and visitors
- loading and unloading of plant and materials
- storage of plant and materials used in constructing the development
- the erection and maintenance of security hoarding including decorative -displays and facilities for public viewing, where appropriate
- wheel washing facilities
- measures to control the emission of noise and vibration during construction.
- measures to control the emission of dust and dirt during construction/demolition
- a scheme for recycling/disposing of waste resulting from demolition and construction works.

Reason: To protect the amenities of future occupiers and those in the local vicinity.

27. Crossovers
28. No Satellite Dishes: Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that Order with or without modification), no Satellite dishes or Aerials shall be installed on any part of the approved development without planning permission being first obtained from the Local Planning Authority.
- Reason: To safeguard the appearance of the development and the visual amenities of the area and to comply with the following Development Plan policies for Merton: policy 7.6 of the London Plan 2015, policy CS14 of Merton's Core Planning Strategy 2011 and policies DM D2 and D3 of Merton's Sites and Polices Plan 2014.
30. Electric vehicle charging points: provision for electric vehicle charging points (passive and active provision) to be provided on site in accordance with the agreed plans.
31. Landscaping (details)
32. Landscaping (Implementation)
33. Sustainable homes
34. Details of Network Connection
35. Notwithstanding approved details – further details of building

elevations and internal alterations to be submitted and approached in writing

36 Obscured glazing (side windows facing adjacent block E)

37 The development permitted by this planning permission shall be carried out in accordance with the Flood Risk Assessment (FRA) by Dixon Hurst Kemp Ltd (Dated May 2016 Issue No. 7 Ref: 45369). The mitigation measures shall be fully implemented prior to occupation and subsequently in accordance with the timing / phasing arrangements embodied within the scheme, or within any other period as may subsequently be agreed, in writing, by the local planning authority.

Reason: To reduce the risk of flooding to the proposed development and future users, and ensure flood risk does not increase offsite in accordance with Merton's policies CS16, DM F1 and DMF2 and the London Plan policies 5.12, 5.13.

38 The development hereby permitted shall not be occupied until such time as a floodplain compensation scheme is implemented which ensures that the flood risk is not increased elsewhere and any scheme is undertaken on a level for level and volume for volume basis. The implemented scheme shall include flood openings (voids) and these voids must be maintained and remain operational for the lifetime of the development. The scheme shall be fully implemented and subsequently maintained, in accordance with the timing / phasing arrangements embodied within the scheme, or within any other period as may subsequently be agreed, in writing, by the local planning authority.

Reason: To reduce the risk of river flooding to the proposed development and future users, and ensure flood risk does not increase offsite in accordance with Merton's policies CS16, DM F1 and the London Plan policy 5.12.

39 The development hereby permitted by this planning permission shall ensure that finished floor levels for all residential units shall be set no lower than 300mm above the 1 in 100 year plus climate change flood level (in metres above Ordnance Datum).. The scheme shall be fully implemented and subsequently maintained, in accordance with the timing / phasing arrangements embodied within the scheme or within any other period as may subsequently be agreed, in writing, by the local planning authority.

Reason: To reduce the risk of flooding to the proposed development and future users in accordance with Merton's policies CS16, DM F1 and the London Plan policy 5.12.

- 40 The development hereby permitted shall not be occupied until such time as a Flood Warning and Evacuation plan and procedure is implemented and agreed in writing to the satisfaction of the Local Planning Authority. The Flood Warning and Evacuation Plan shall be implemented in accordance with the submitted document included within section 13 of the Flood Risk Assessment and the procedures contained within the plan shall be reviewed annually for the lifetime of the development. Consultation of the plan shall take place with the Local Planning Authority and Emergency Services.

Reason: To reduce the risk of flooding to the proposed development and future users in accordance with Merton's CS16 and policy DM F1 and the London Plan policy 5.12.

- 41 No development approved by this permission shall be commenced until a detailed scheme for the provision of surface and foul water drainage has been implemented in accordance with details that have been submitted to and approved in writing by the local planning authority and in consultation with Thames Water. The final drainage scheme shall be designed in accordance with the details submitted in the Flood Risk Assessment. The drainage scheme will dispose of surface water by means of a sustainable drainage system (SuDS) to sewer at the agreed restricted rate (5l/s) in accordance with drainage hierarchy contained within the London Plan Policy (5.12, 5.13 and SPG) and the advice contained within the National SuDS Standards. Where a sustainable drainage scheme is to be provided, the submitted details shall:

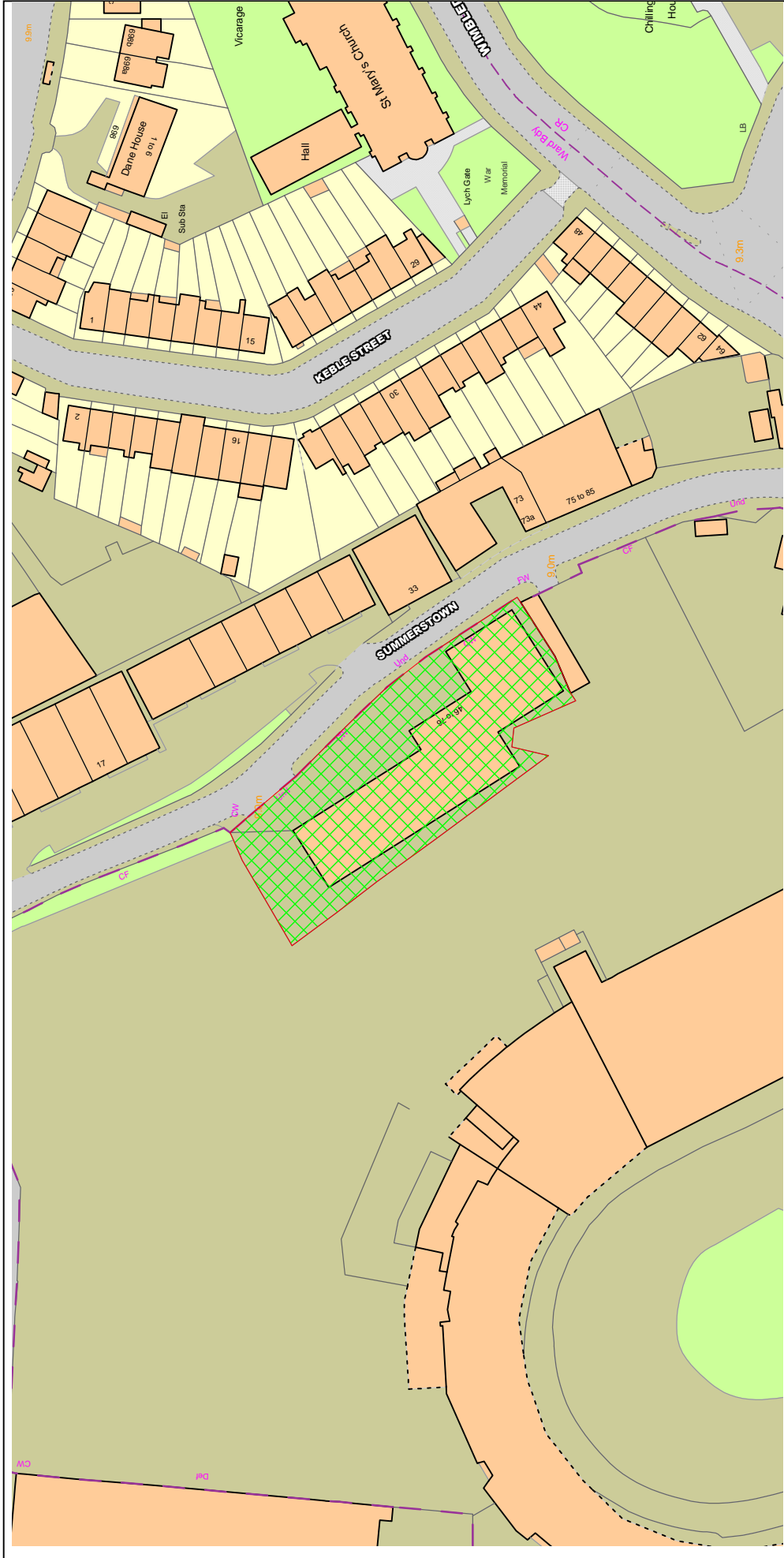
- i. provide information about the design storm period and intensity, the method employed to delay (attenuation provision of no less than 87m³ of storage) and control the rate of surface water discharged from the site at a maximum rate of 5l/s for the 1 in 100 year climate change event. Appropriate measures must be taken to prevent pollution of the receiving groundwater and/or surface waters;
- ii. include a timetable for its implementation;
- iii. provide a management and maintenance plan for the lifetime of the development which shall include the arrangements for adoption and any other arrangements to secure the operation of the scheme throughout its lifetime;

- iv. A CCTV of the existing sewer and drainage network to establish its condition and any remedial works;
- v. Include a sequencing of works and construction method statement for any sewer diversions and new connections
- vi. All sewer diversions and any new connections are undertaken to the satisfaction of Thames Water.

Reason: To reduce the risk of surface and foul water flooding to the proposed development and future users, and ensure surface water and foul flood risk does not increase offsite in accordance with Merton's policies CS16, DMF2 and the London Plan policy 5.13.

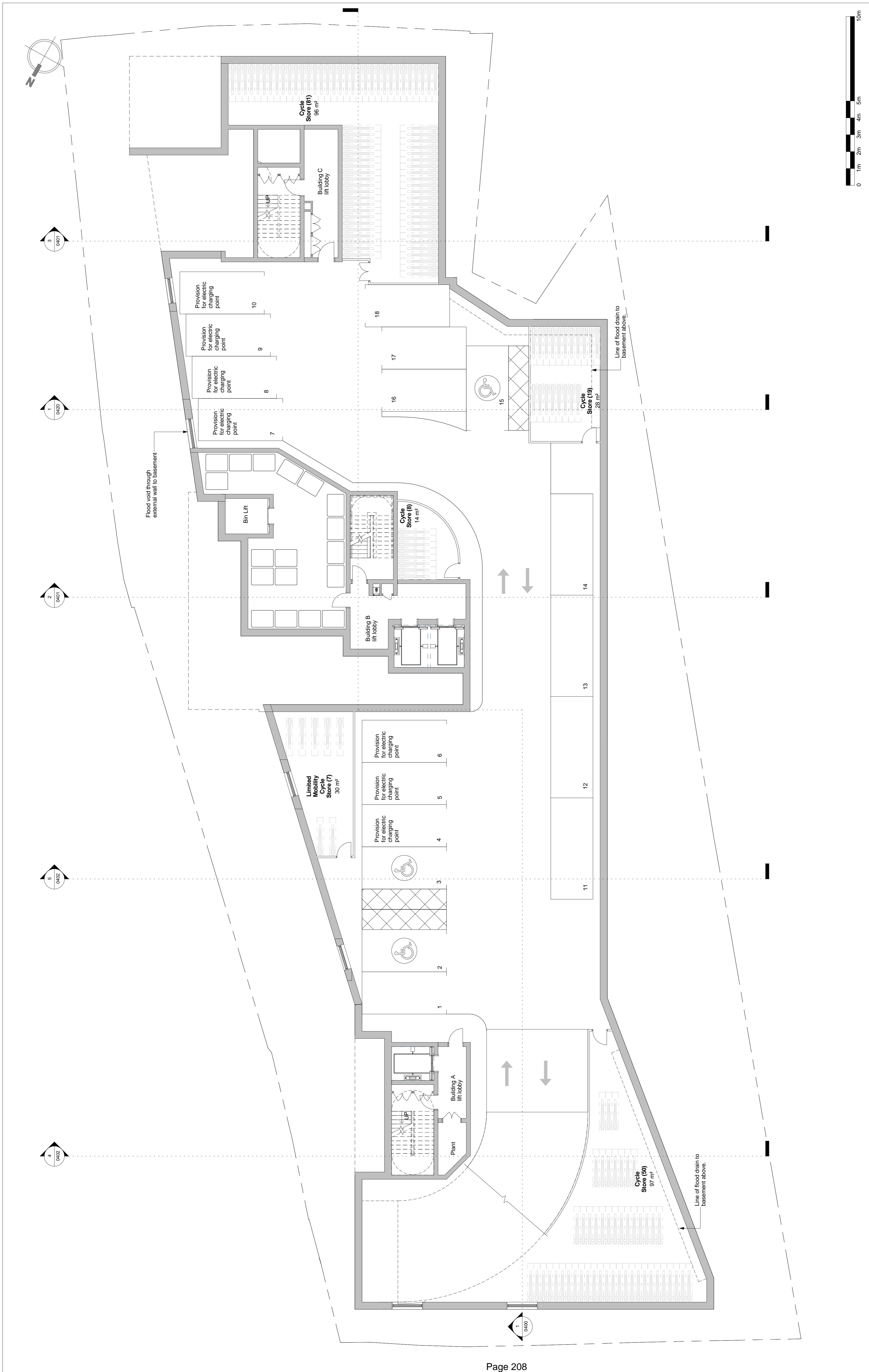
- 42. Play Space
- 43. Bat boxes and bird nesting features
- 44. Green Roofs
- 45. Terrace/balcony screening

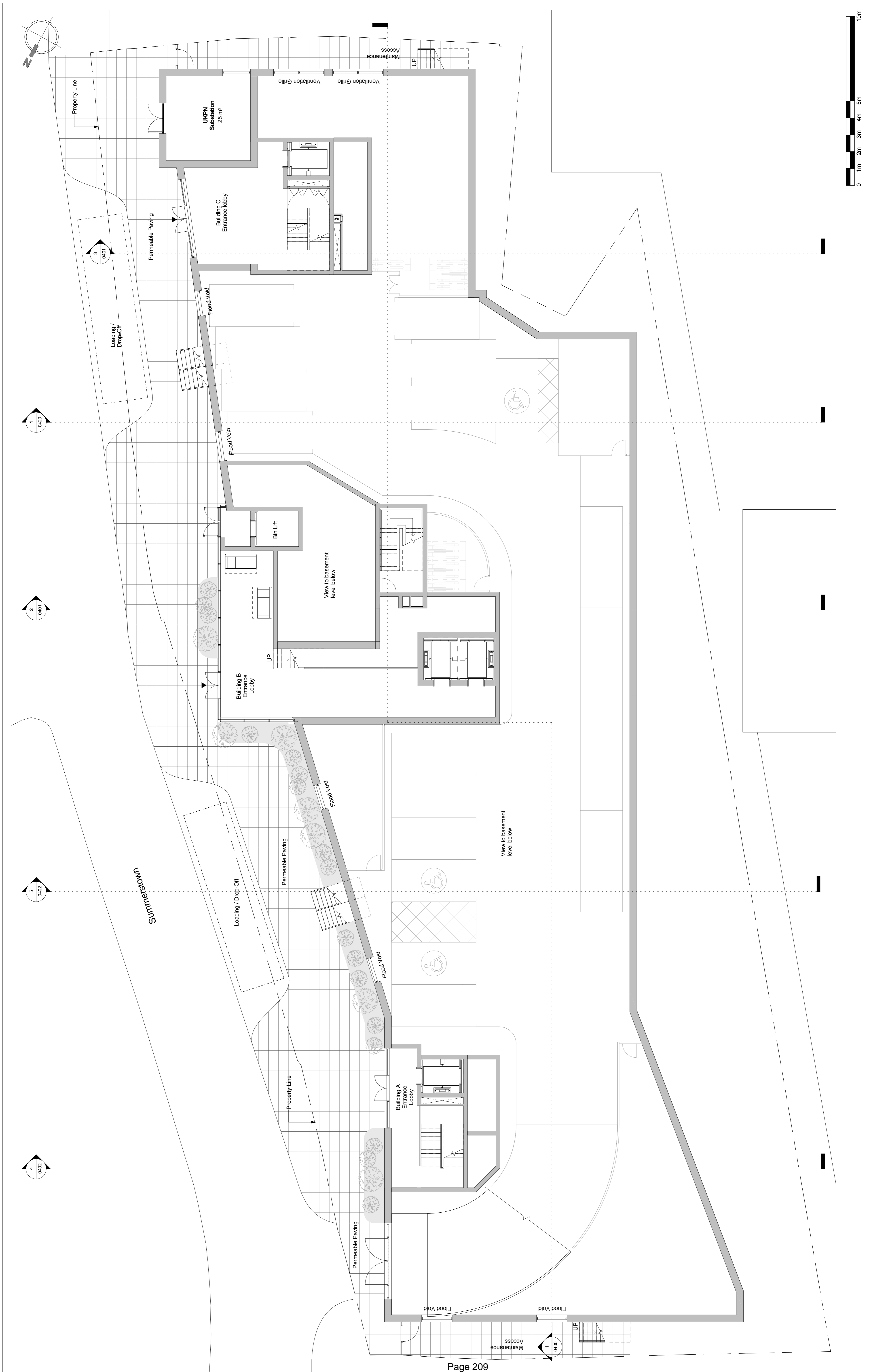
NORTHGATE SE GIS Print Template



Text Details **Volante Site, 46-76 Summerstown**

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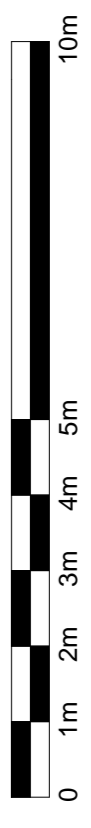
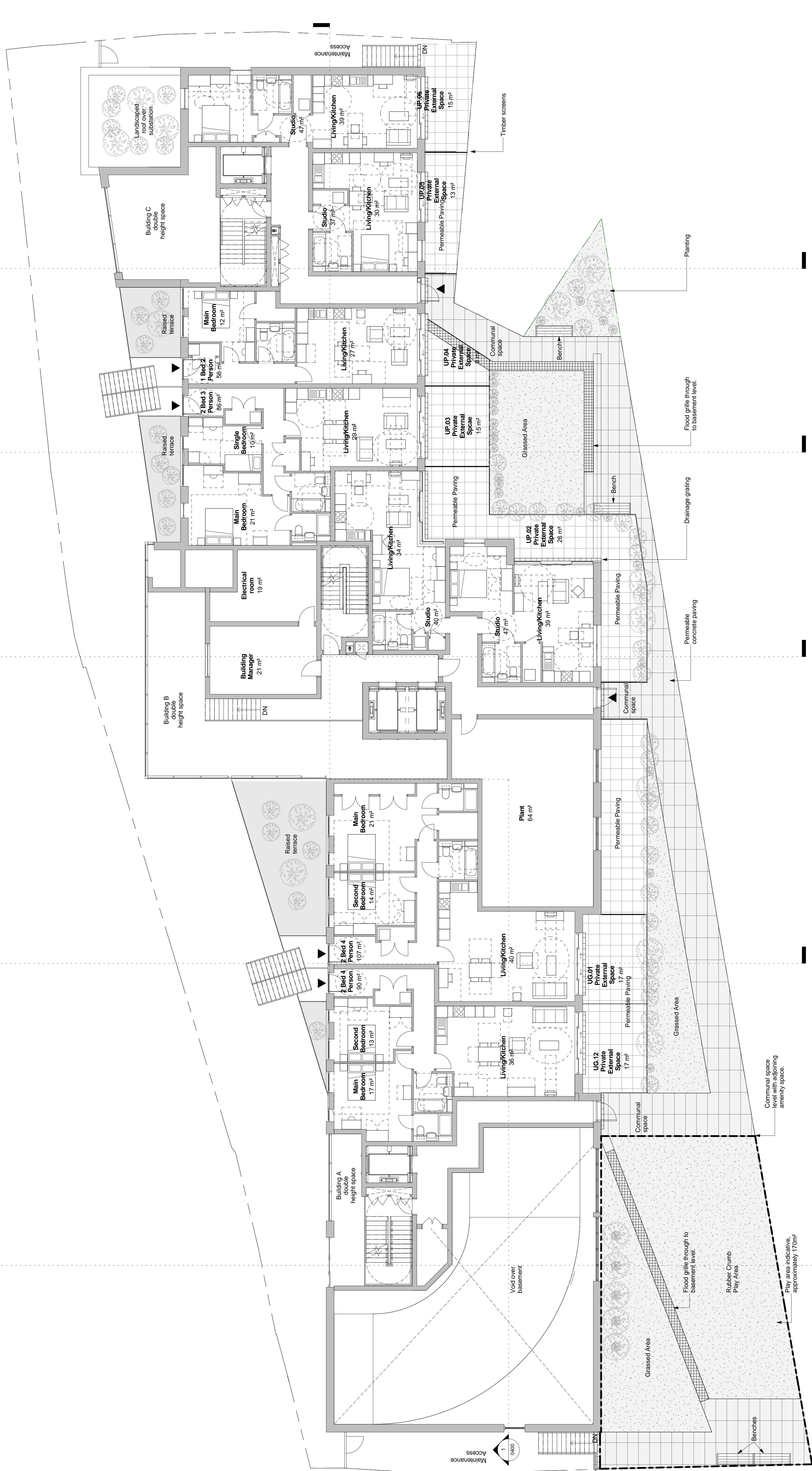
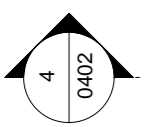
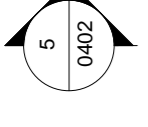
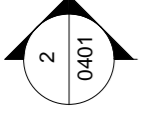
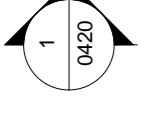
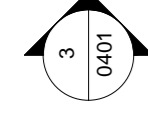
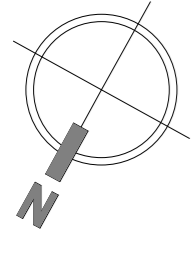


Rev: P01	Date: 29.04.2016	Dw: LC	Chk: SR
Issued for Planning			
Rev: P02	Date: 29.04.2016	Dw: LC	Chk: SR
Substation Amended			
Rev: P03	Date: 10.05.16	Dw: PA	Chk: SR
Issued for Planning			

Client: Volante Limited
 Project: 46-76 Summerstown, SW17

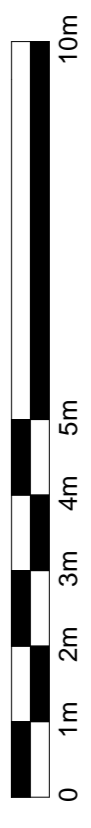
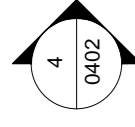
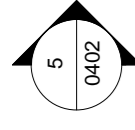
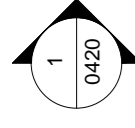
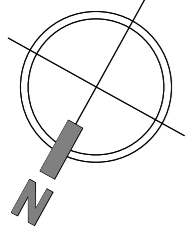
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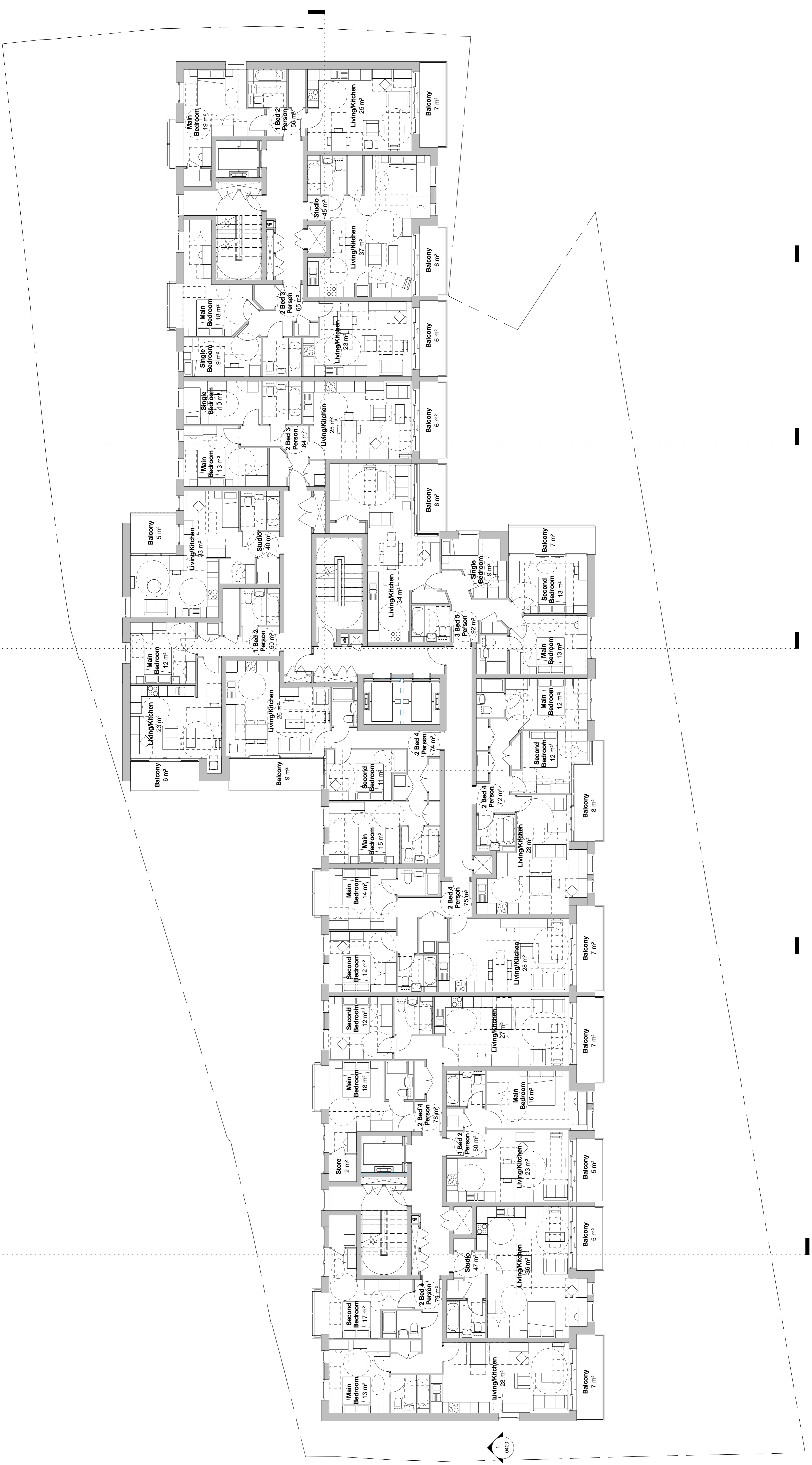
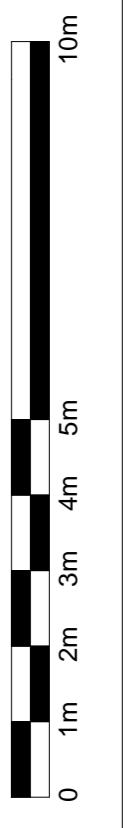
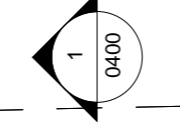
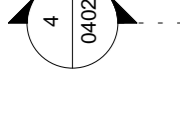
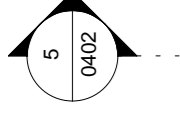
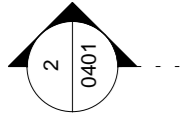
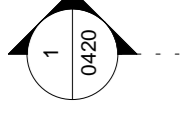
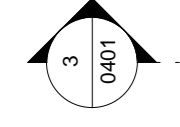
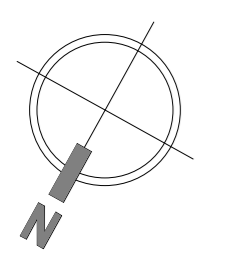
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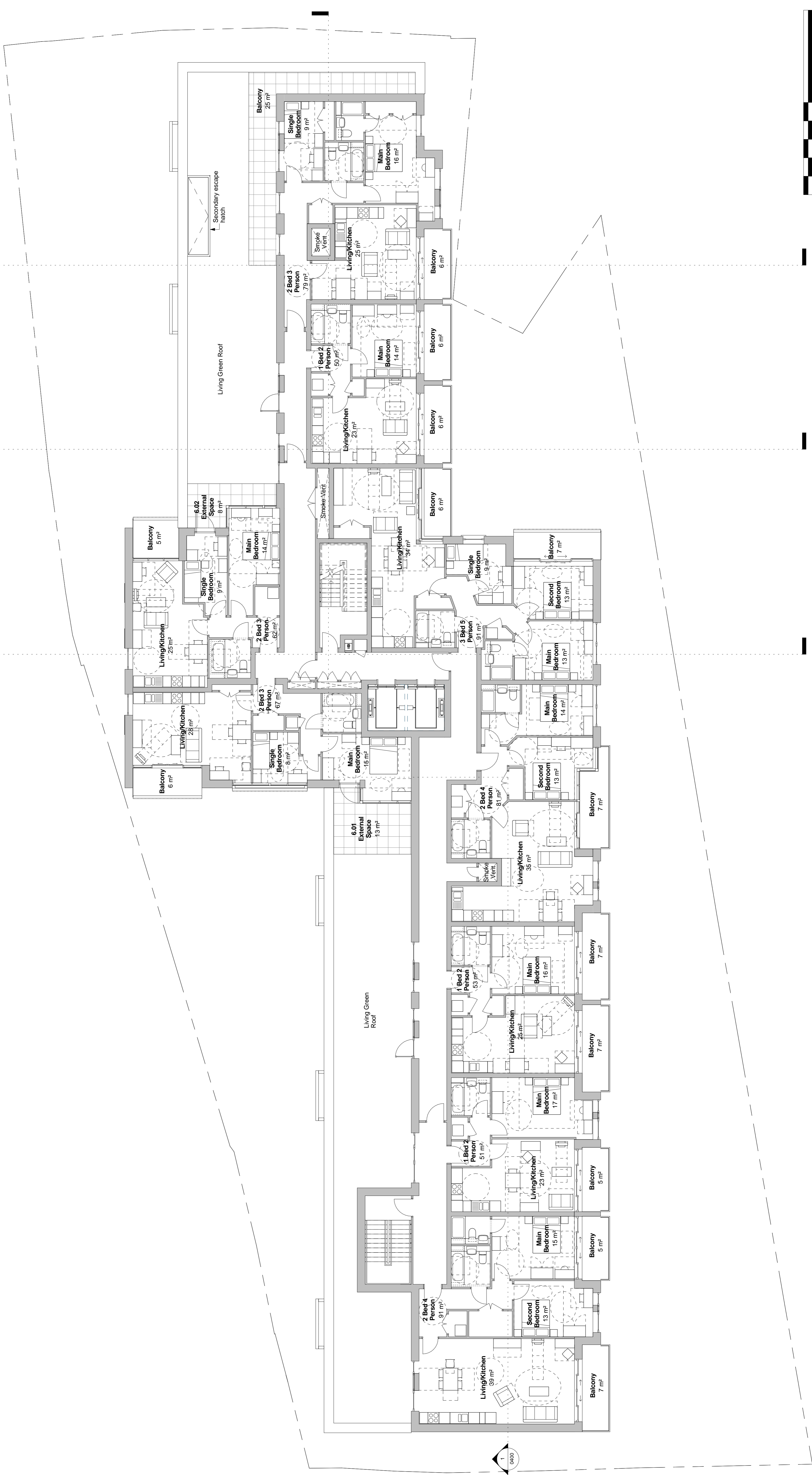
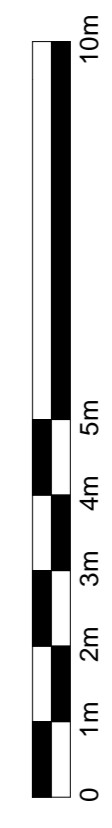
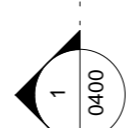
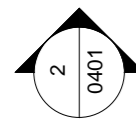
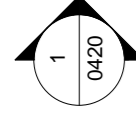
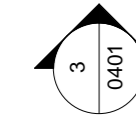
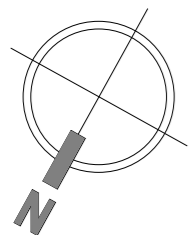


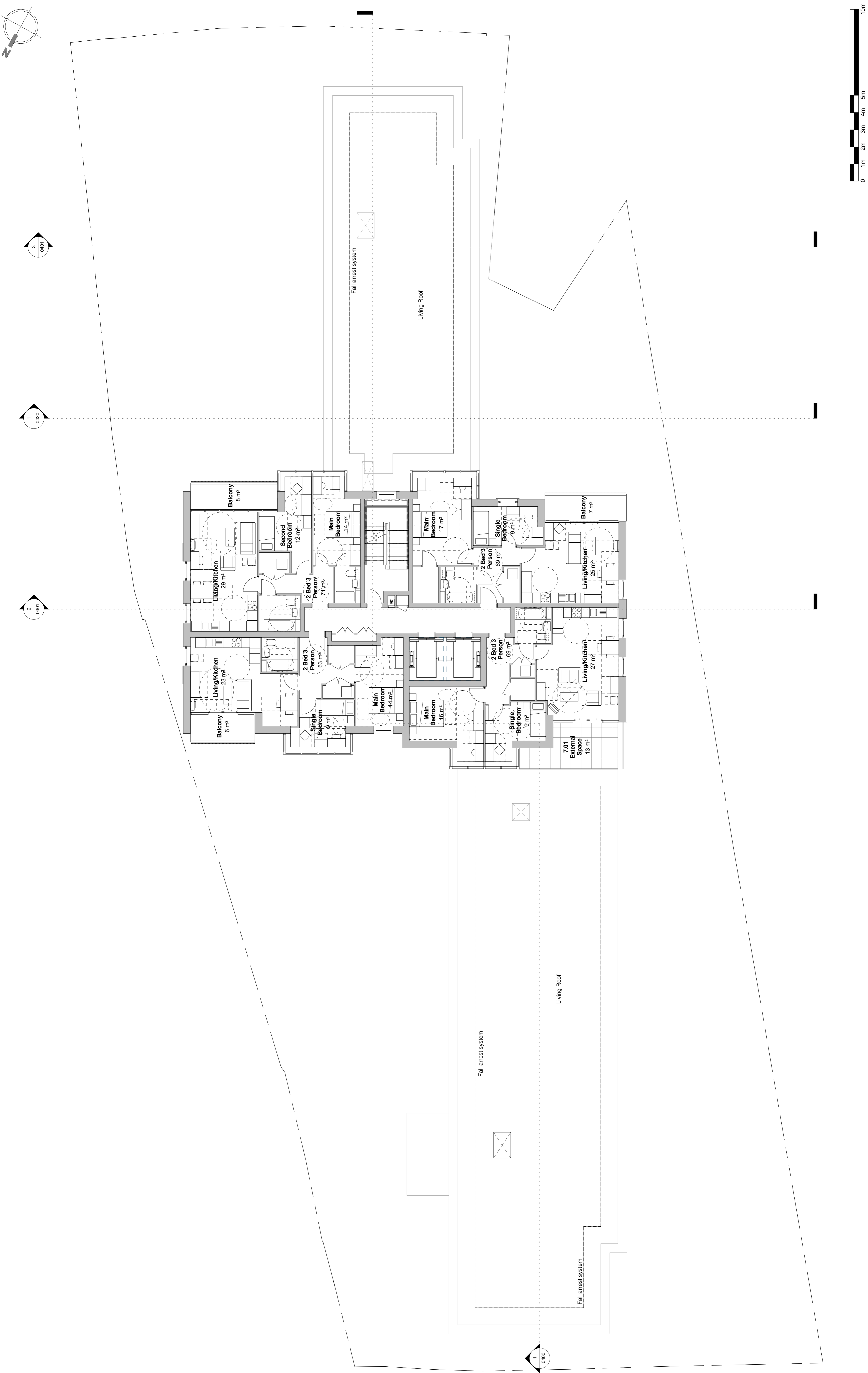
Rev: P01	Date: 29.04.2016	Drw: LC	Chk: SR
Issued for Planning			
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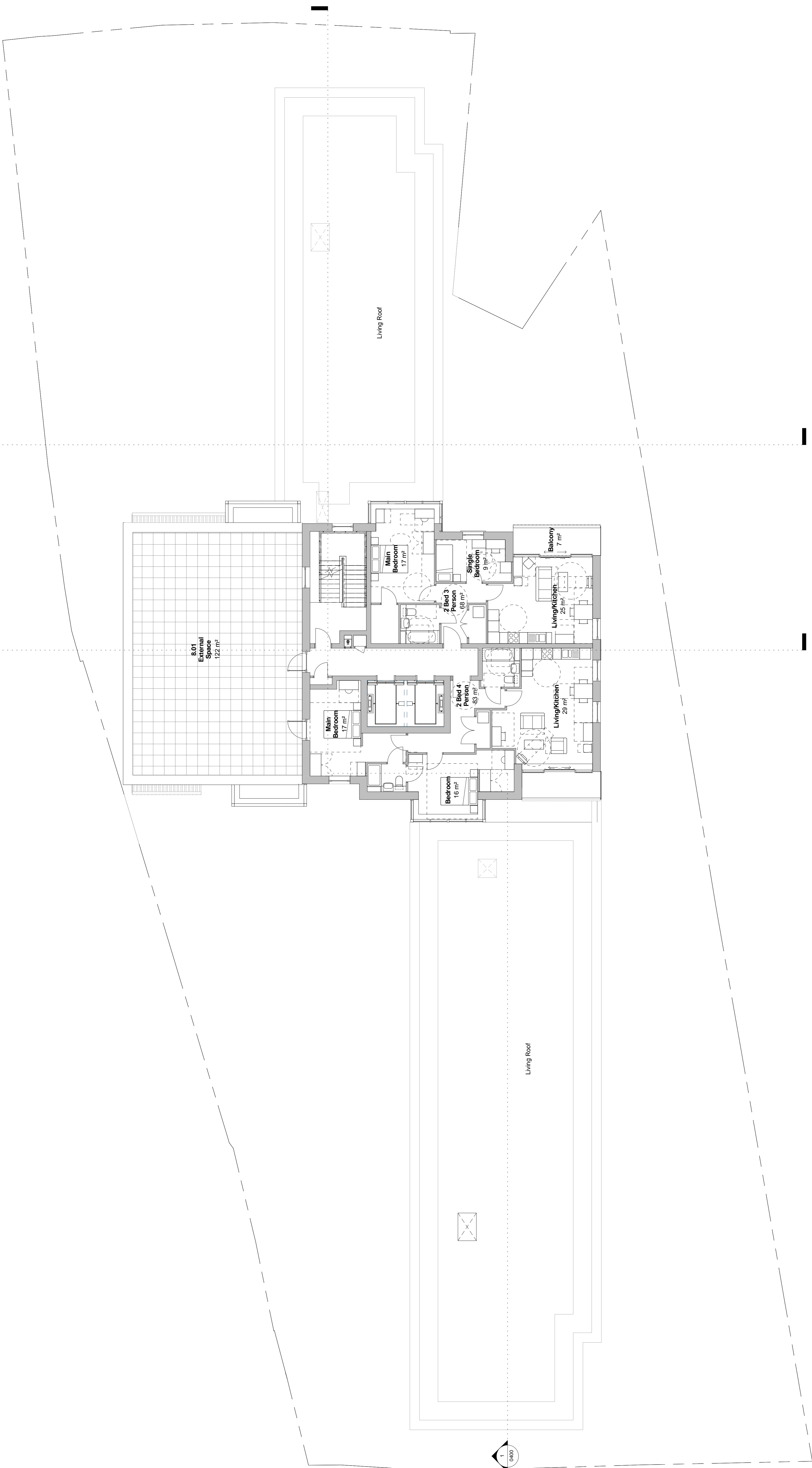
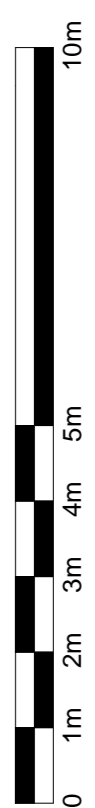
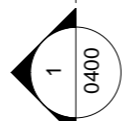
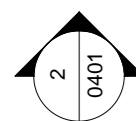
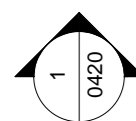
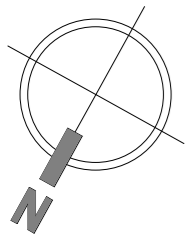
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Rev-P01 Date: 29.04.2016 Drw: LC Chk: SR

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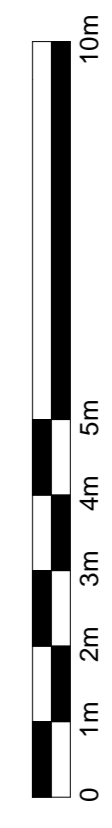
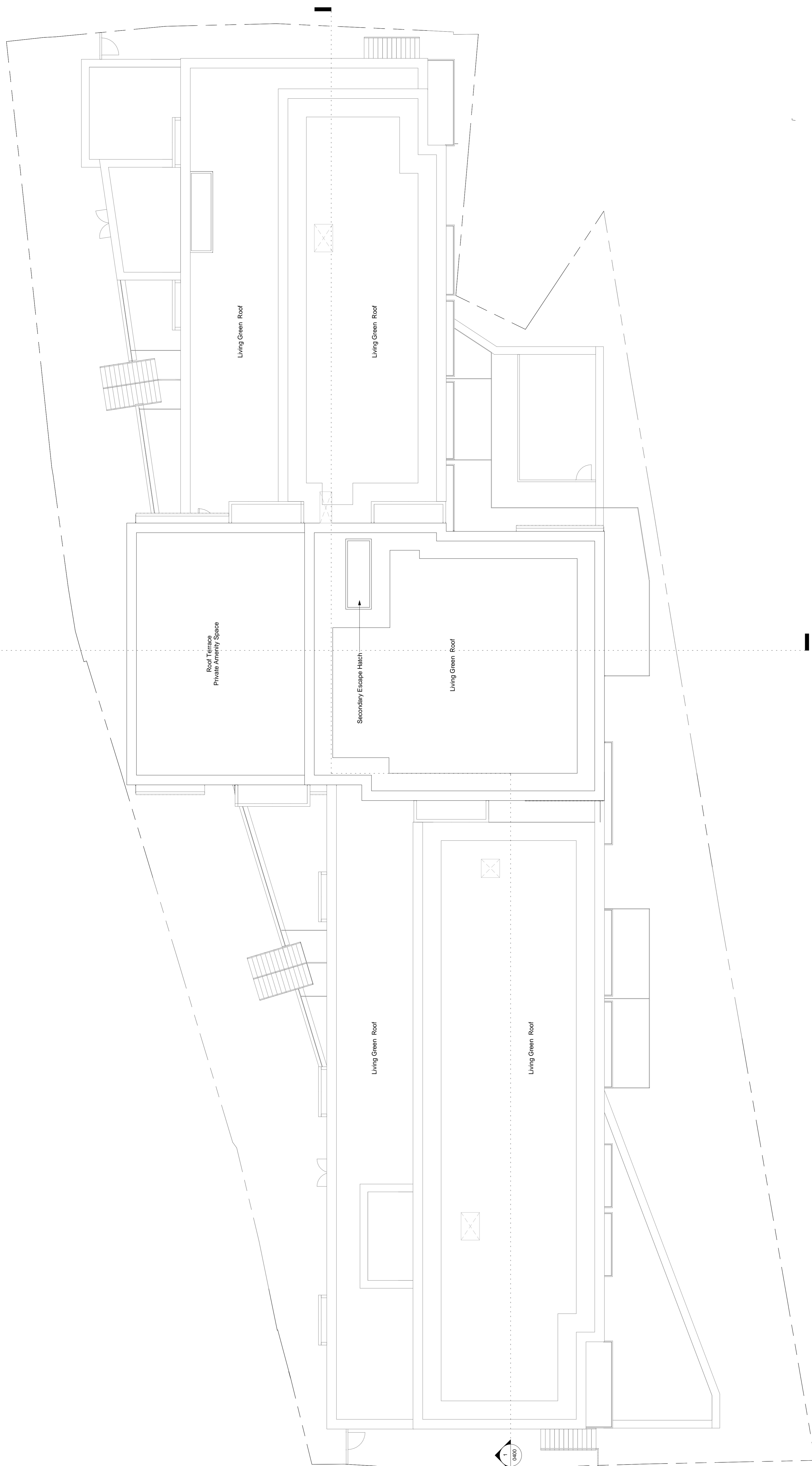
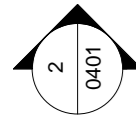
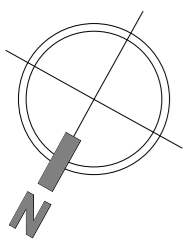
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Client: Volante Limited

Project: 46-76 Summerstown, SW17

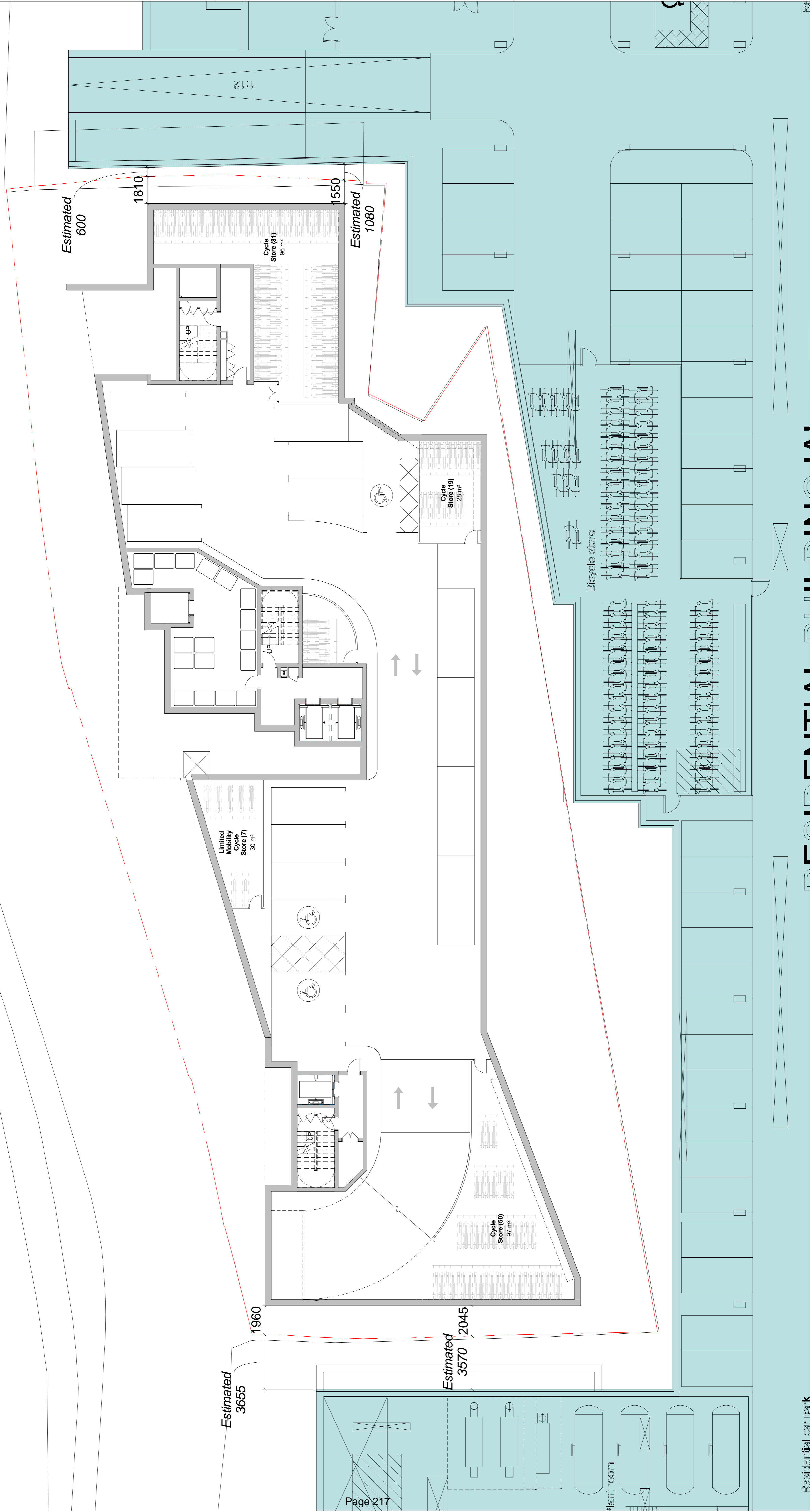
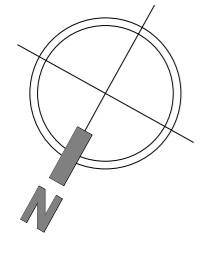
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Drawing status: Planning



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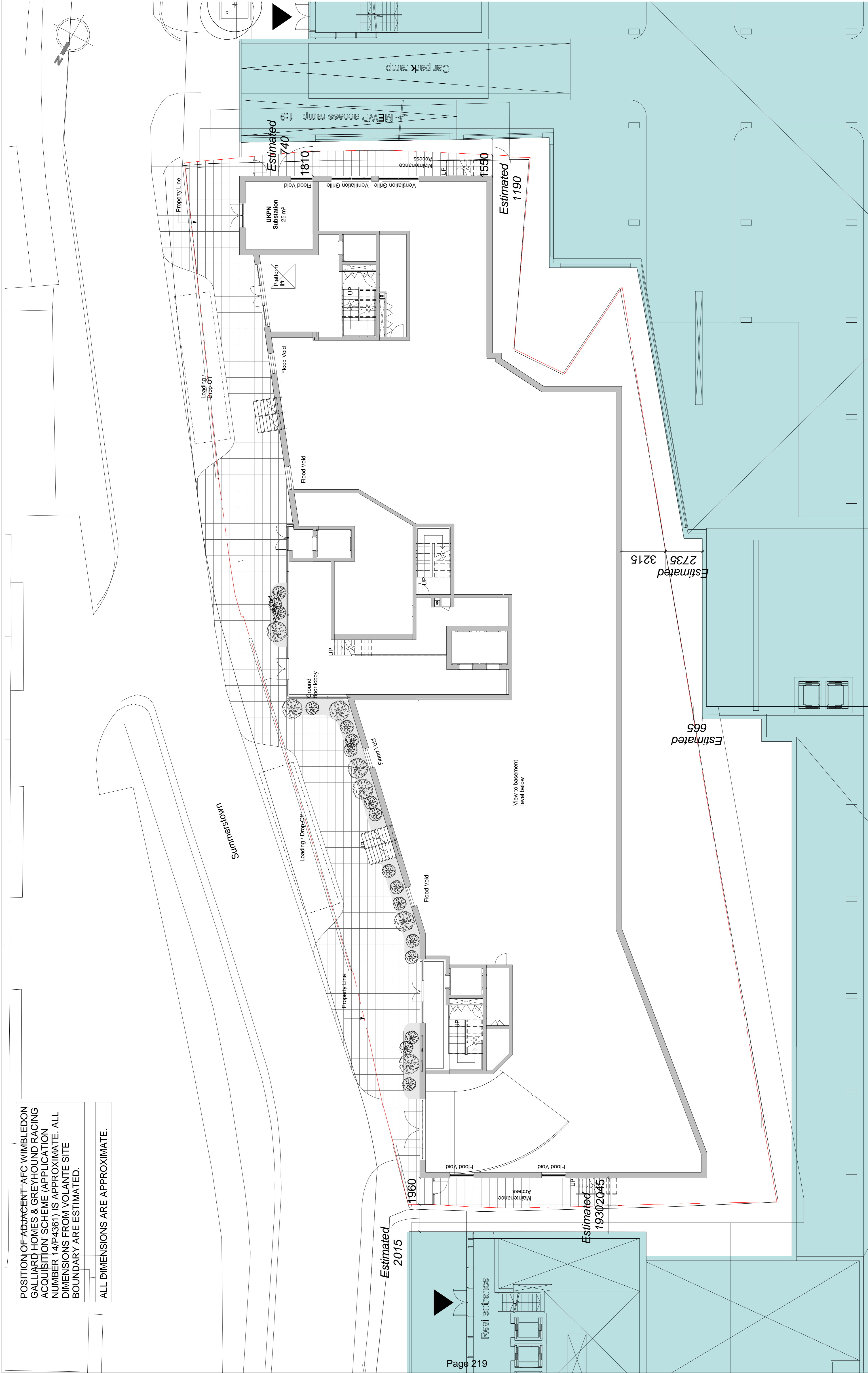
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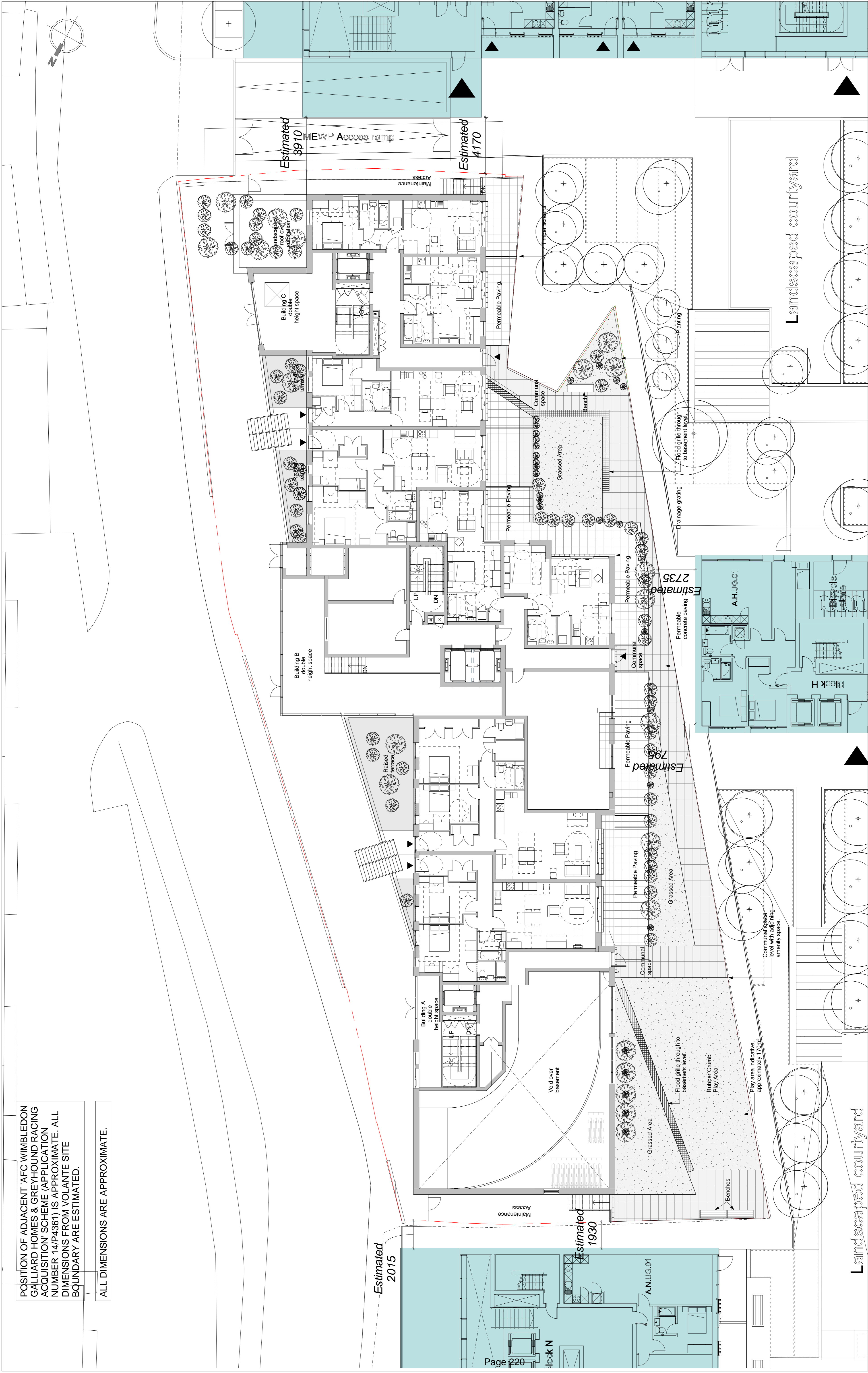
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View to basement level below

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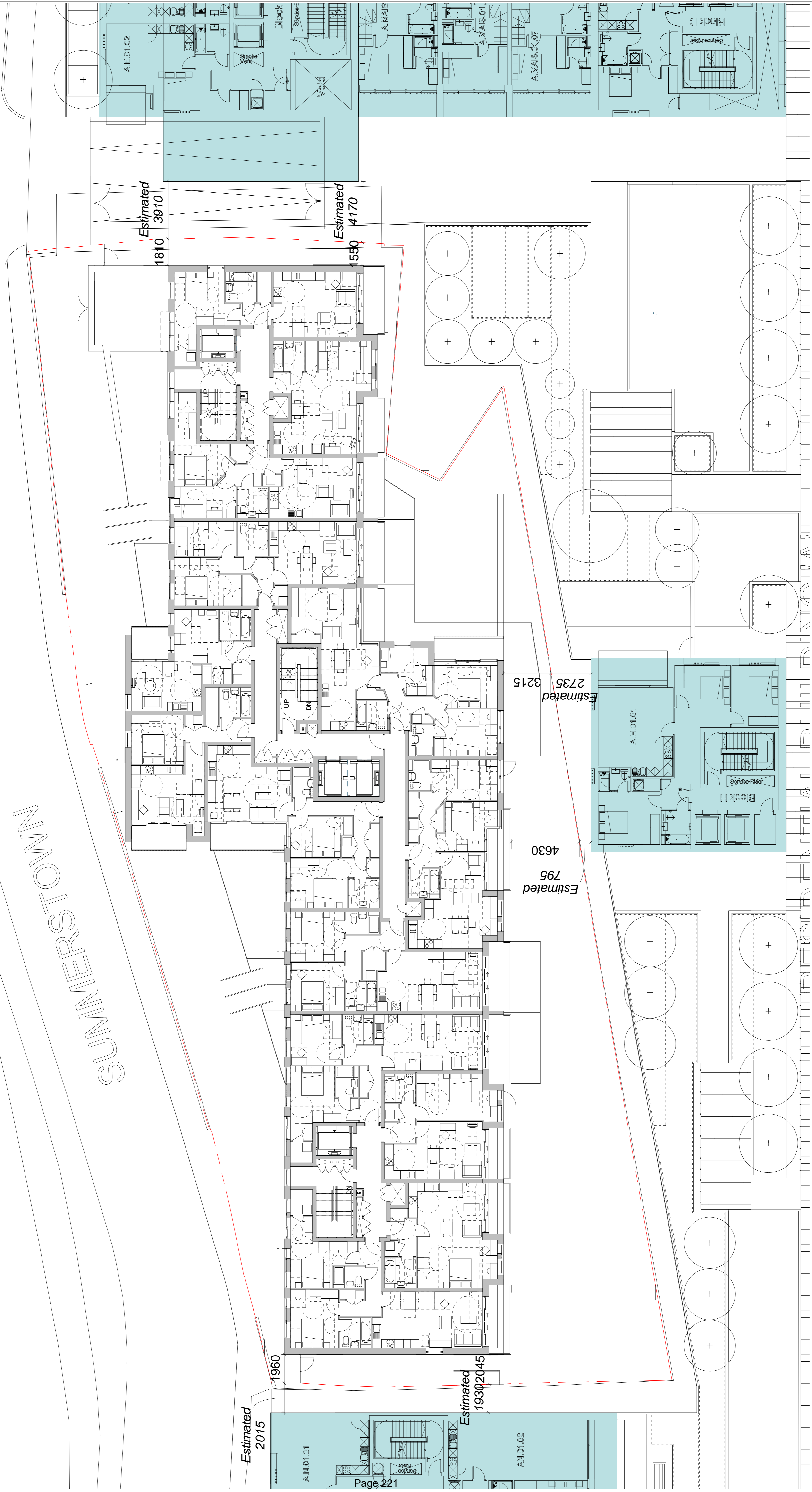
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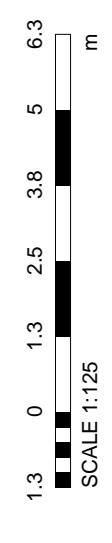
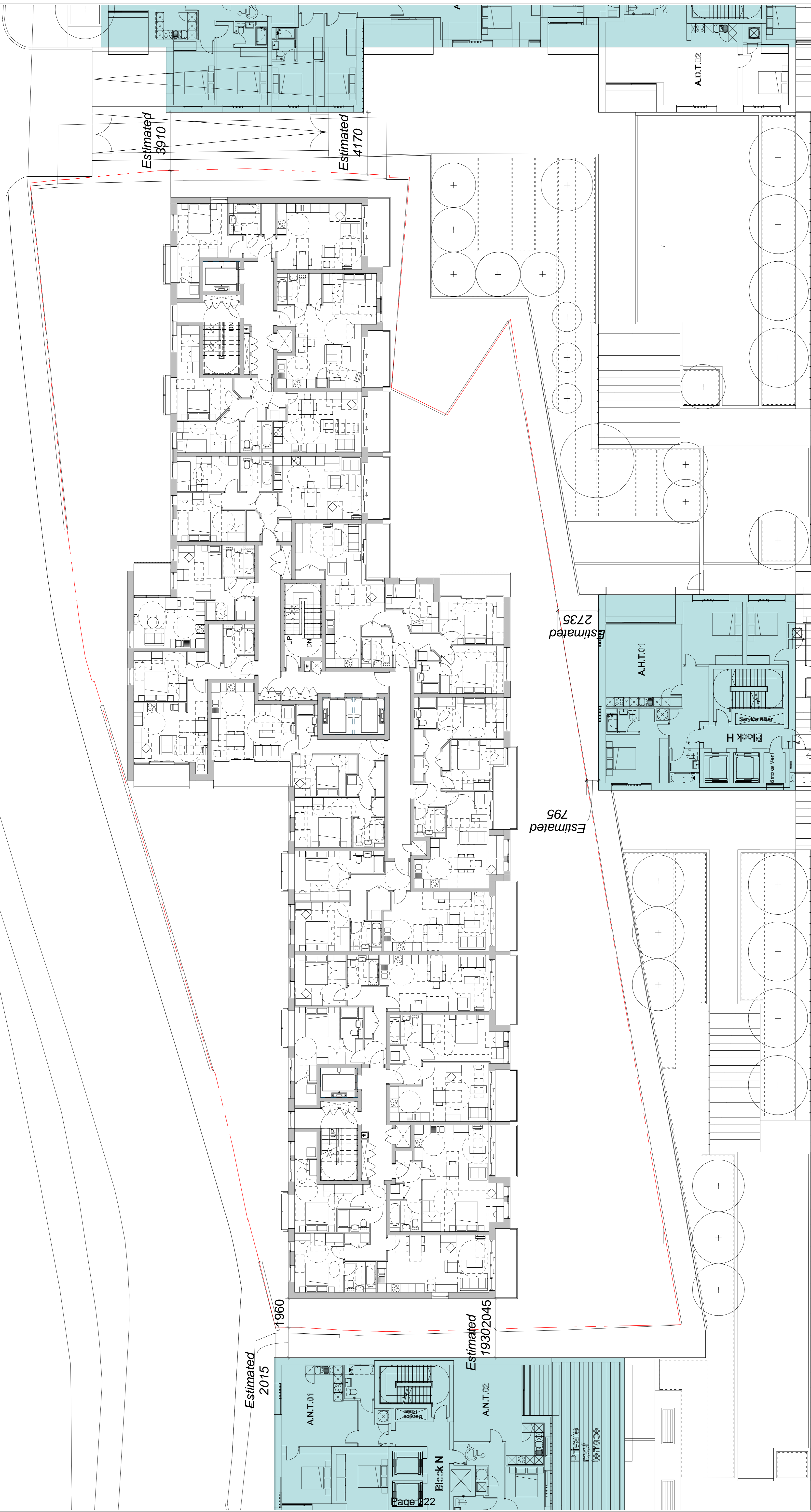
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SUMMERSTOWN



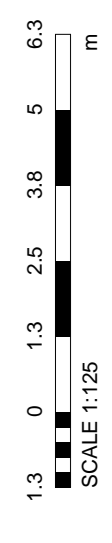
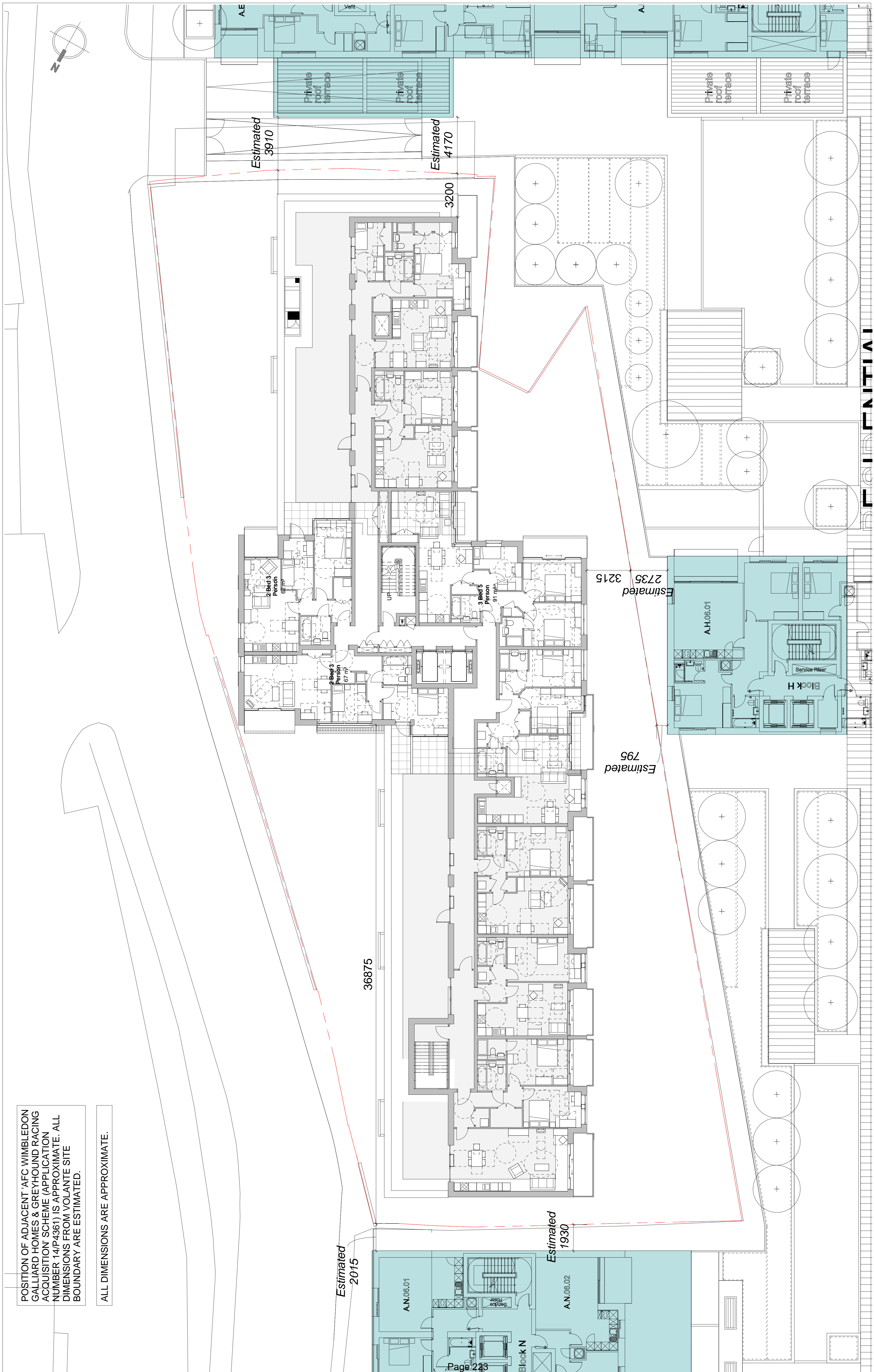
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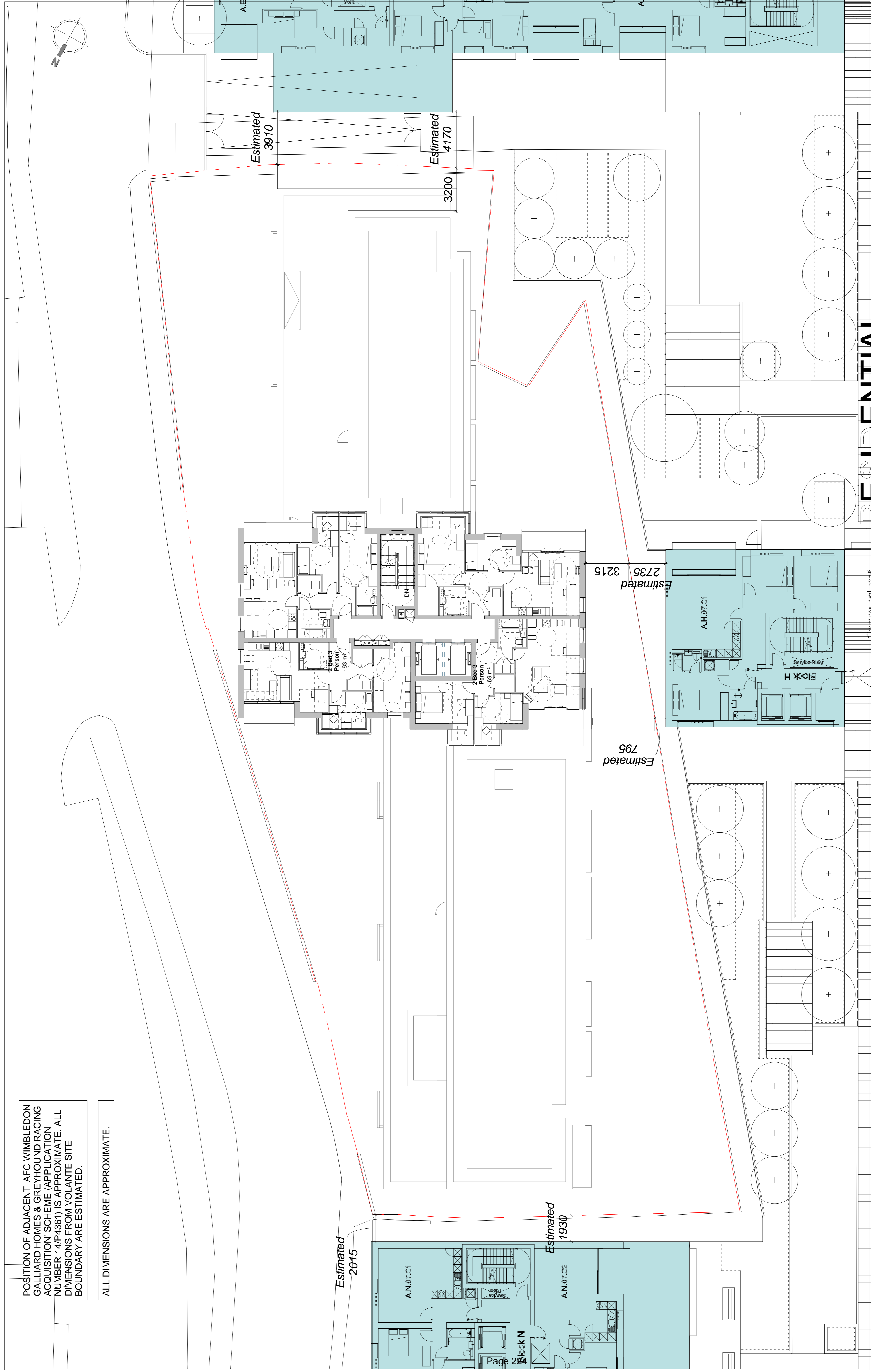
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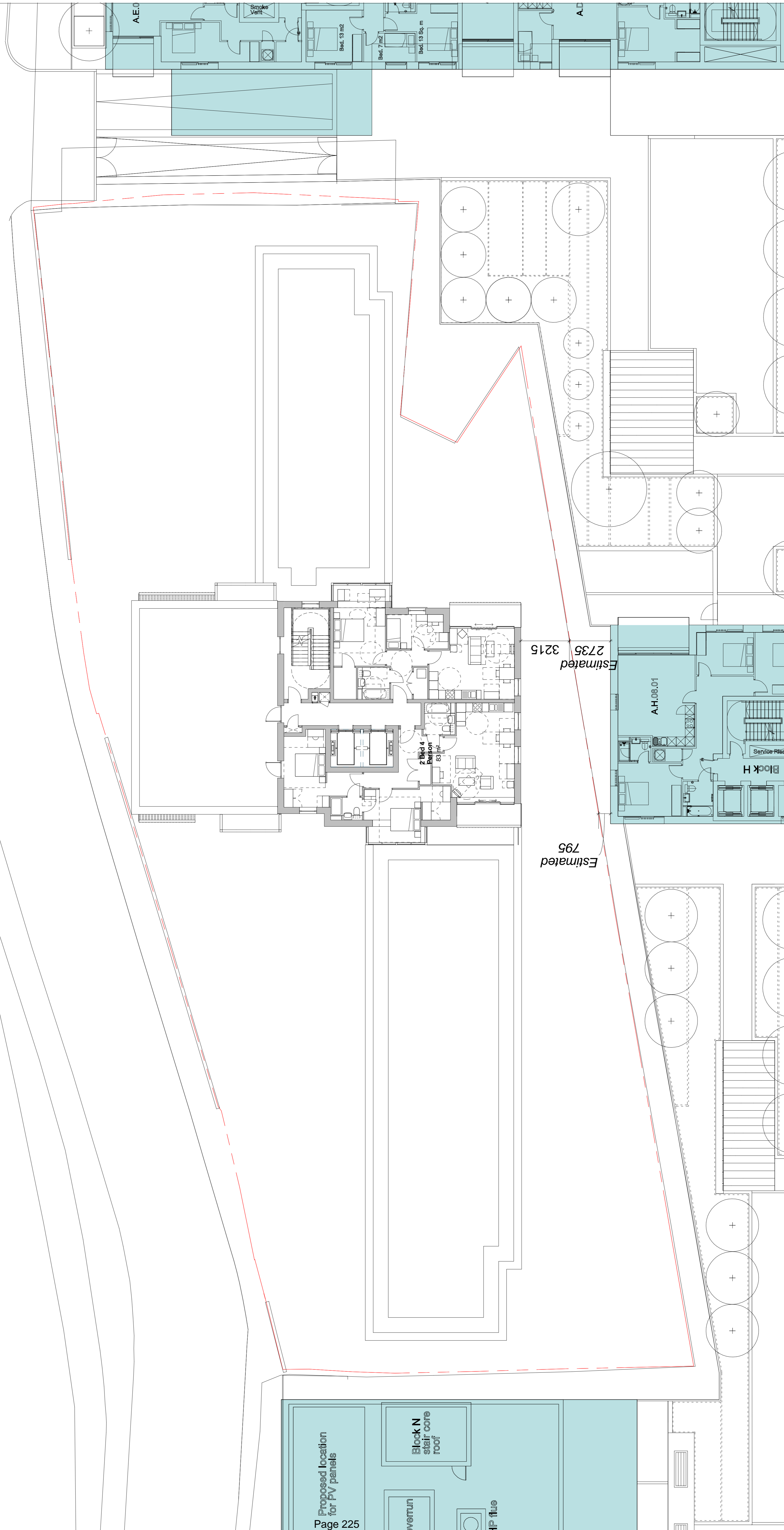
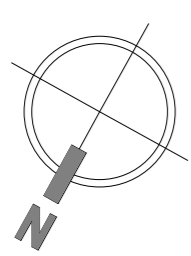
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POSITION OF ADJACENT AFC WIMBLEDON
GALLIARD HOMES & GREYHOUND RACING
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DIMENSIONS FROM VOLANTE SITE
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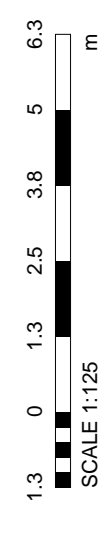


Block N
stair core
roof
overrun
HP flue

Estimated
795

Estimated
2735
3215

A.H.08.01
Block H
Service Riser



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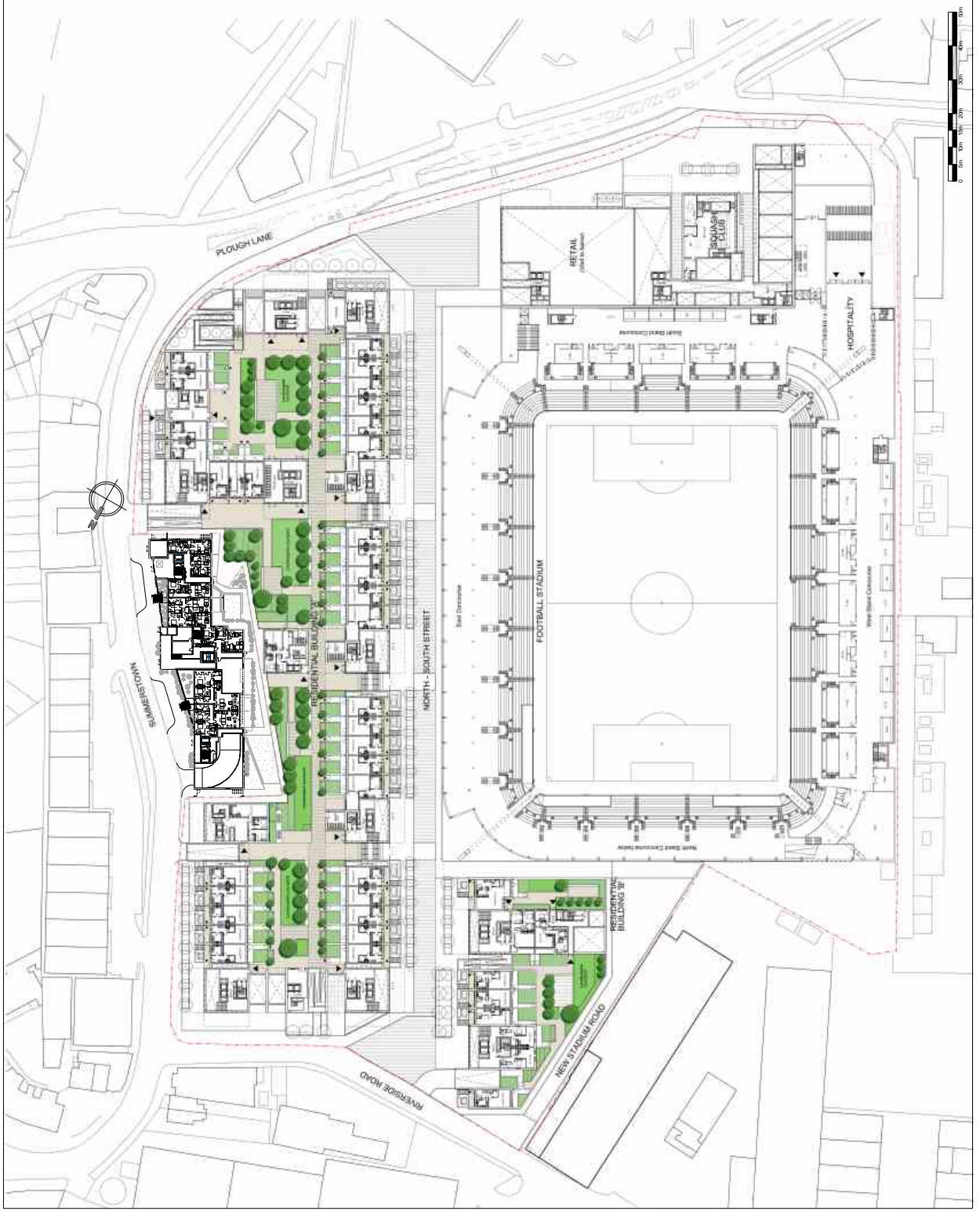
Note:
 The Wimbledon Stadium Development shown in context for
 planning purposes. The development is designed by Sheppard Robson for Galliard Homes.

Project No: 2110-00-DR-0020
 Date: 10/05/18
 Drawn by: CJK/SK
 Checked by: CJK/SK
 Client: Vegane Limited

Project: 4676 Summerstown, SW17

Title: Context Plan Upper Ground Floor

Drawing Status: Planning



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Note: The Wimbledon Stadium Development shown on contract for the Wimbledon Stadium Development is shown for context for the proposed development. The proposed development is shown in grey. Masterplan designed by Sheppard Robson for Galliard Homes.

Rev: 011 Date: 10.05.16 Dwg: SN CHK: SR
 Rev: 012 Date: 05.05.16 Dwg: SN CHK: SR
 Rev: 013 Date: 05.05.16 Dwg: SN CHK: SR
 Context Information as Requested by Local Authority

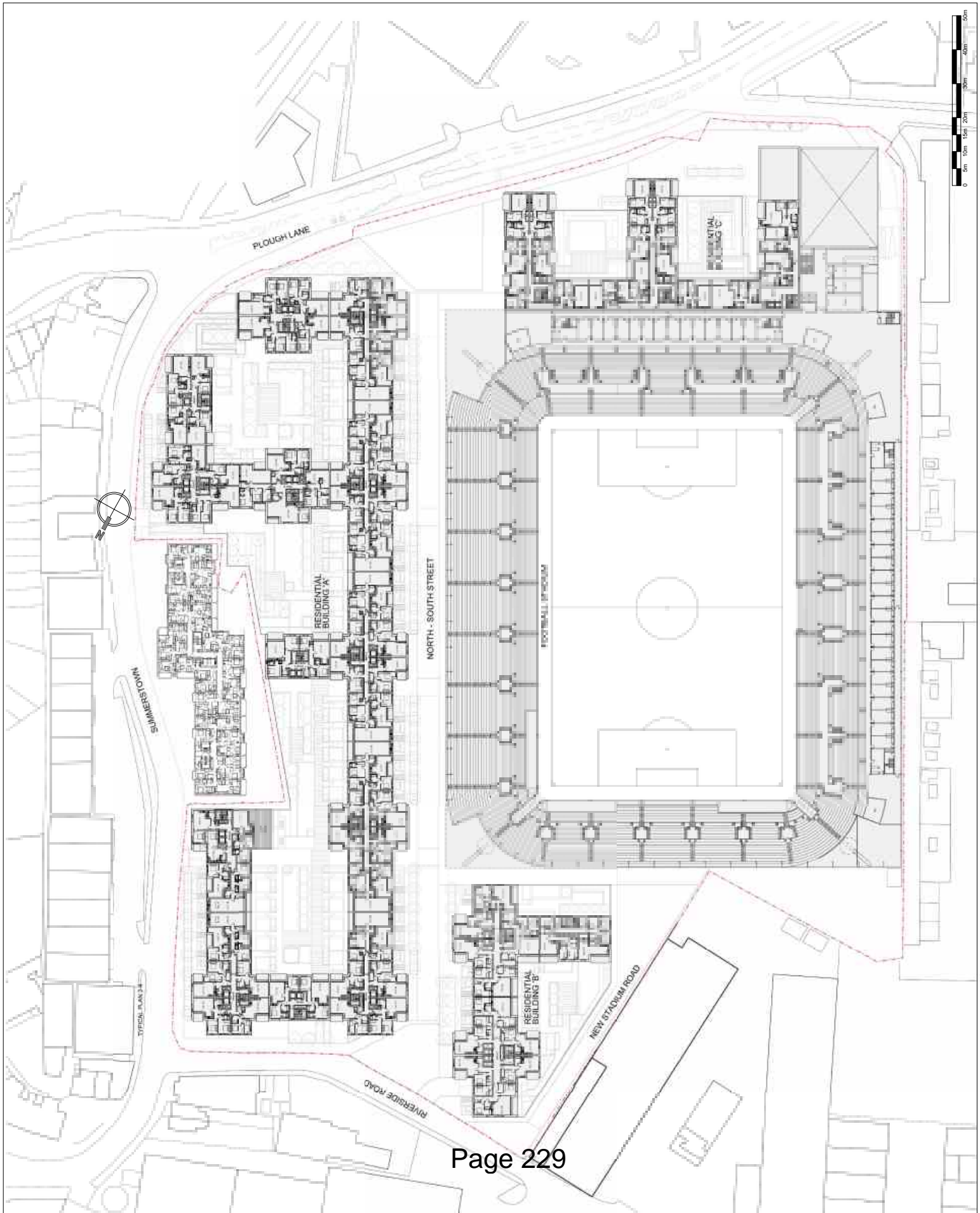
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Client:
Volante Limited

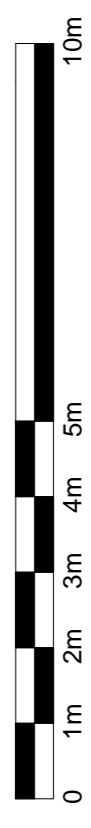
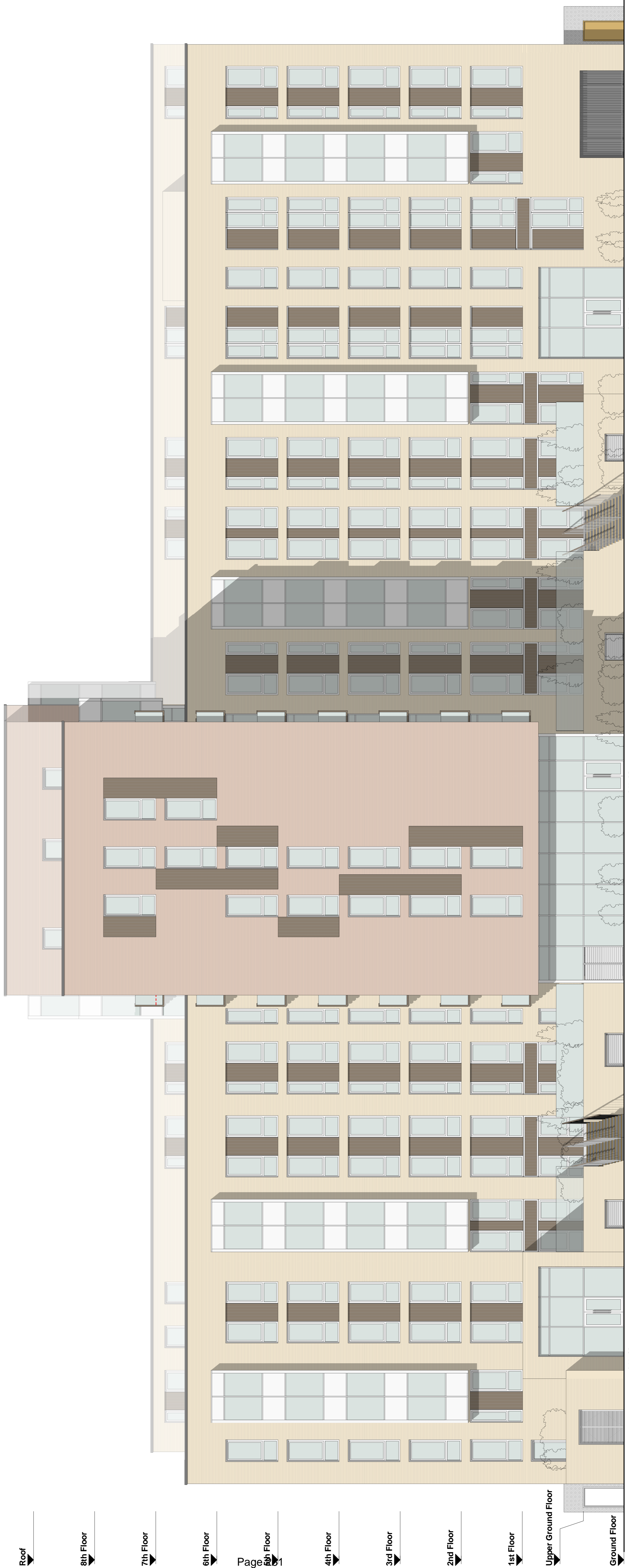
Project:
46-76 Summerstown, SW17

Title:
Context Plan 2nd Floor

Drawing status:
Planning



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Roof

8th Floor

7th Floor

6th Floor

Page 21

4th Floor

3rd Floor

2nd Floor

1st Floor

Upper Ground Floor

Ground Floor

Rev: P01	Date: 29.04.2016	Drw: LC	Chk: SR
Issued for Planning			
Rev: P02	Date: 29.04.2016	Drw: LC	Chk: SR
Substation Amended			
Rev: P03	Date: 10.05.16	Drw: PA	Chk: SR
Issued for Planning			

Client: Volante Limited

Project: 46-76 Summerstown, SW17

Title: East Elevation

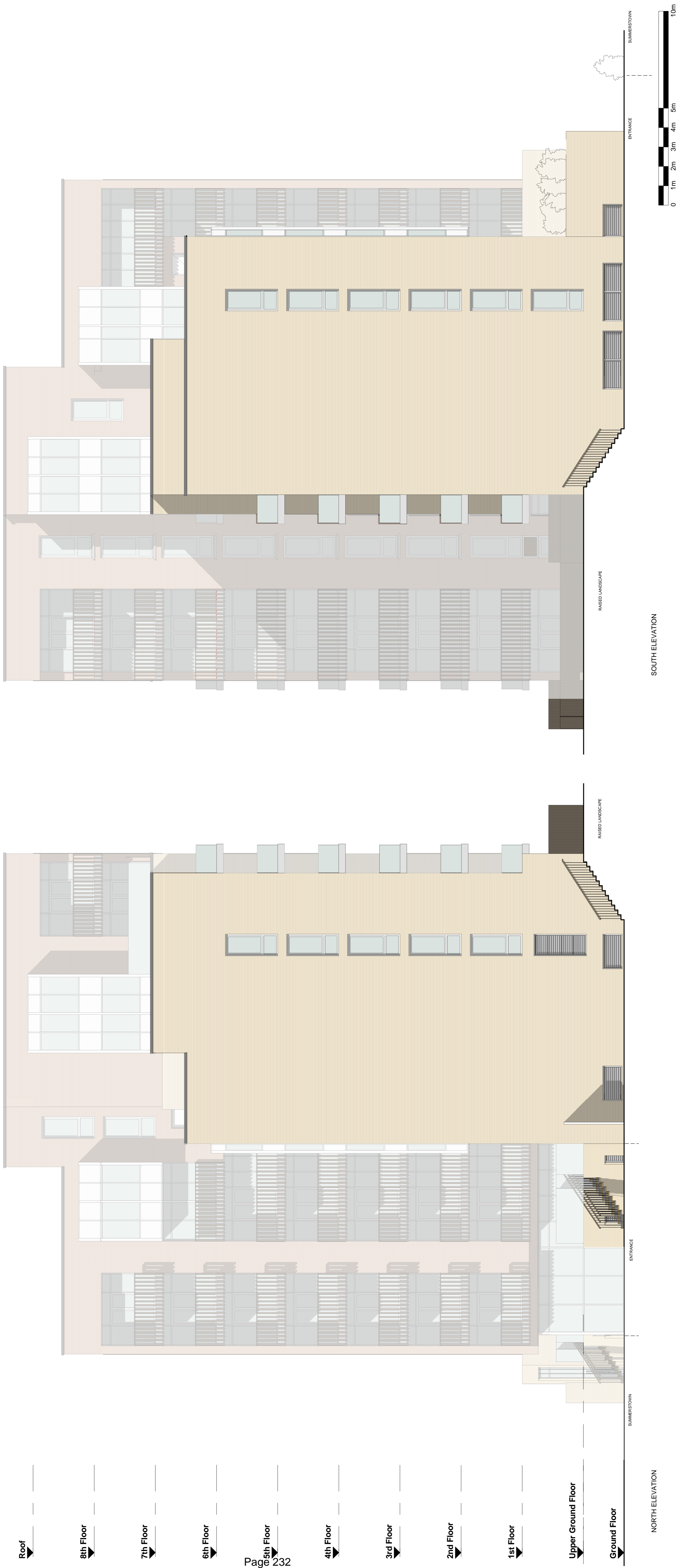
Drawing status: Planning



Scale @ A1
 1 : 100

Drawing No: 2110-00-DR-0601

Rev: P03



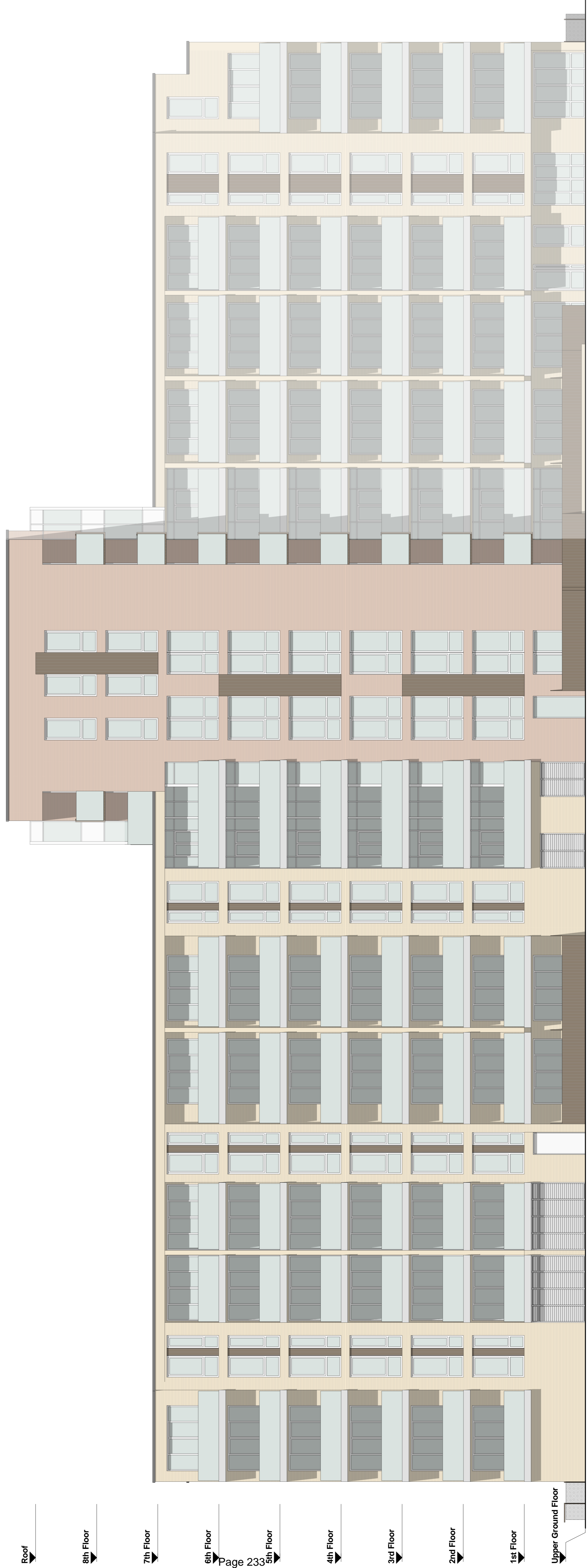
Rev: P01	Date: 29.04.2016	Drw: LC	Chk: SR
Issued for Planning			
Rev: P02	Date: 29.04.2016	Drw: LC	Chk: SR
Substation Amended			
Rev: P03	Date: 10.05.16	Drw: PA	Chk: SR
Issued for Planning			

Client: Volante Limited
 Project: 46-76 Summerstown, SW17

Title: North and South Elevation
 Drawing status: Planning



Do not scale off this drawing
 Dimensions to be checked on site
 Plot date: 10/05/2016 18:10:25



Roof

8th Floor

7th Floor

6th Floor

Page 233

5th Floor

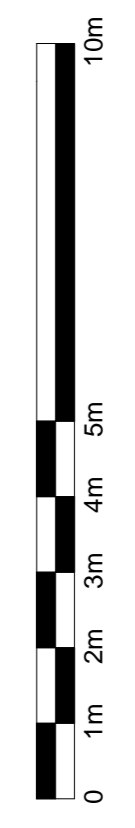
4th Floor

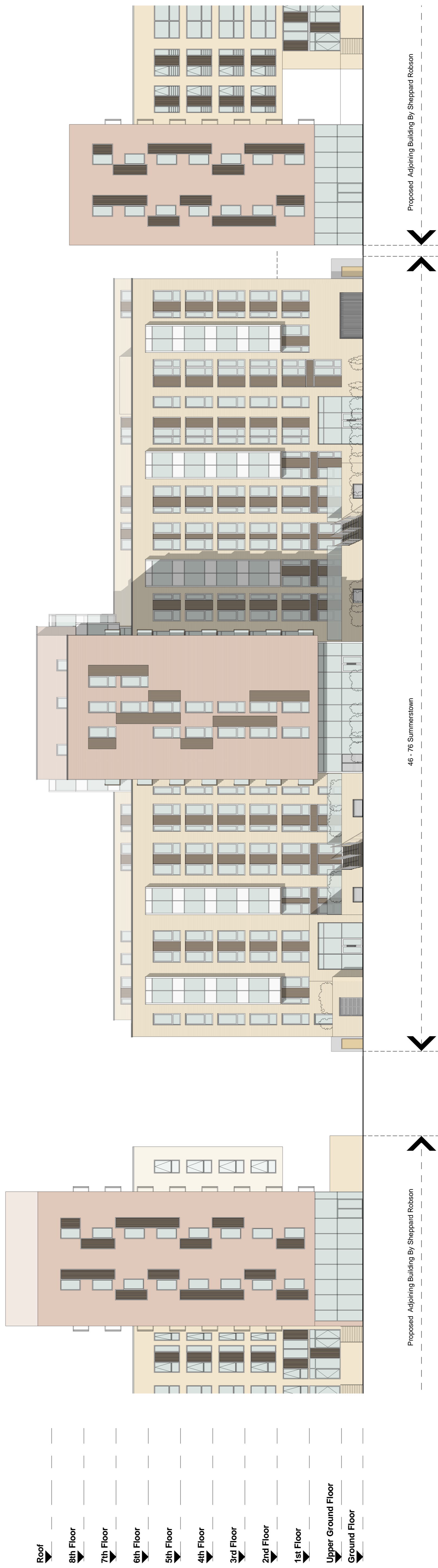
3rd Floor

2nd Floor

1st Floor

Upper Ground Floor



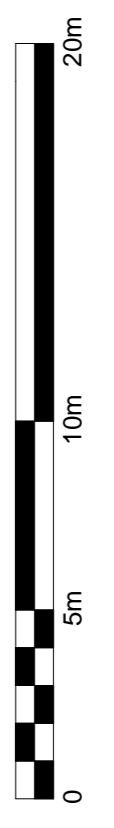


Roof
 8th Floor
 7th Floor
 6th Floor
 5th Floor
 4th Floor
 3rd Floor
 2nd Floor
 1st Floor
 Upper Ground Floor
 Ground Floor

Proposed Adjoining Building By Sheppard Robson

46-76 Summerstown

Proposed Adjoining Building By Sheppard Robson



13th Floor
FFL 43.040

12th Floor
FFL 39.890

11th Floor
FFL 36.740

10th Floor
FFL 33.590

9th Floor
FFL 30.440

8th Floor
FFL 27.290

7th Floor
FFL 24.140

6th Floor
FFL 20.990

5th Floor
FFL 17.840

4th Floor
FFL 14.690

3rd Floor
FFL 11.540

2nd Floor
FFL 8.390

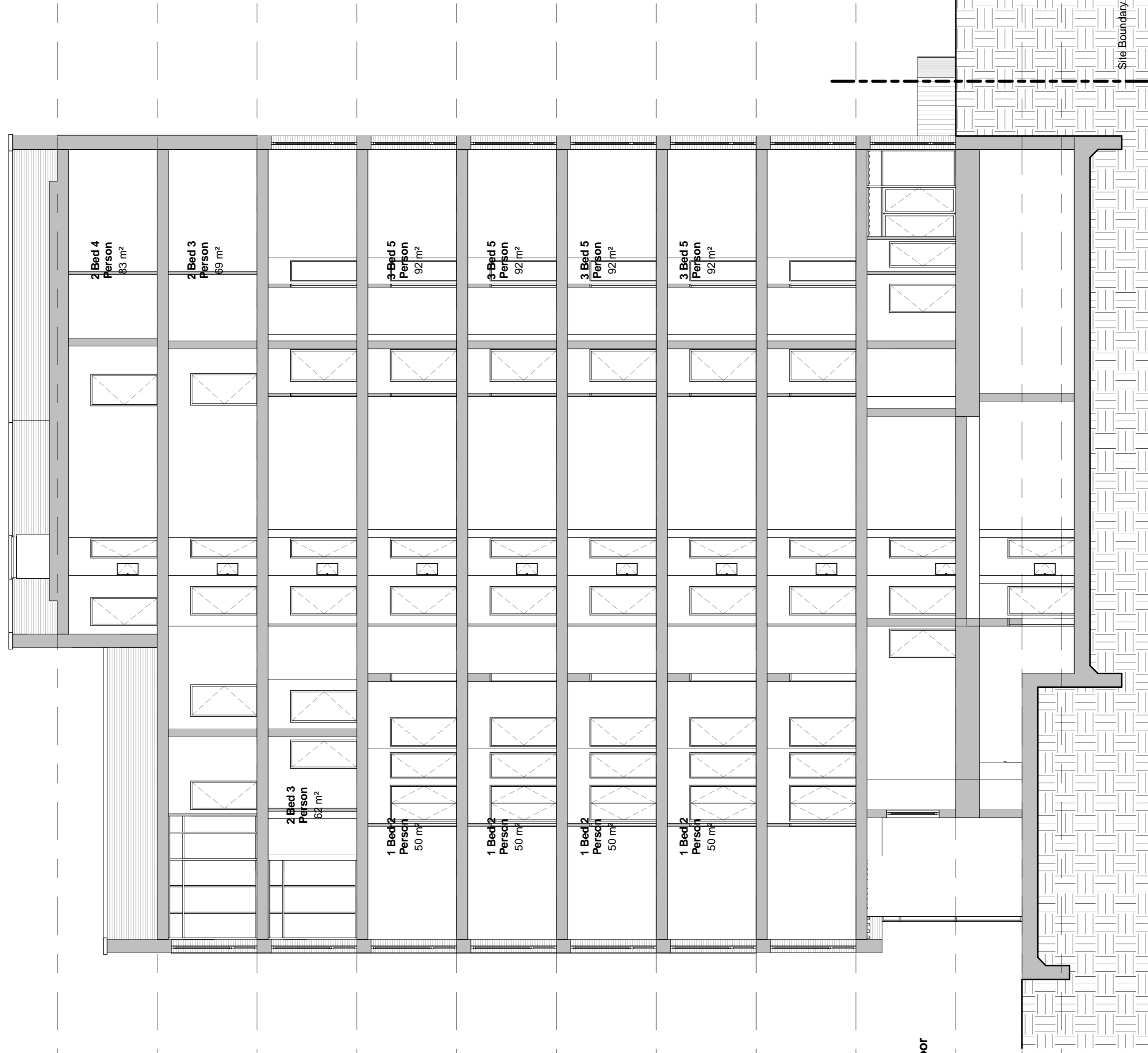
1st Floor
FFL 5.240

Upper Ground Floor
FFL 2.090

Ground Floor
FFL 0.000

Basement
FFL -1.250

Roof



Section 2-2

7th Floor
FFL 24.140

6th Floor
FFL 20.990

5th Floor
FFL 17.840

4th Floor
FFL 14.690

3rd Floor
FFL 11.540

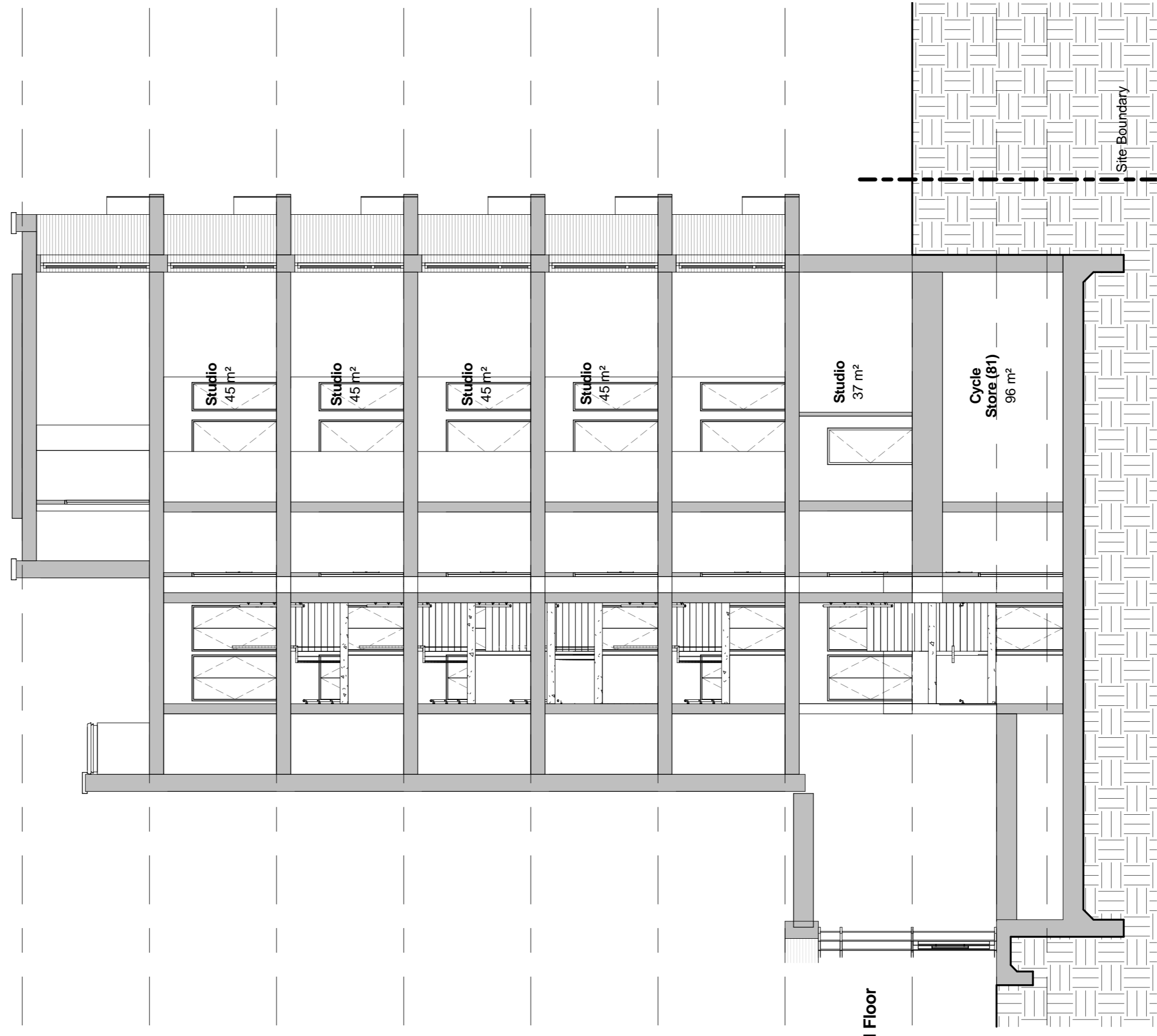
2nd Floor
FFL 8.390

1st Floor
FFL 5.240

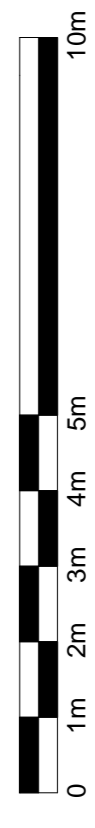
Upper Ground Floor
FFL 2.090

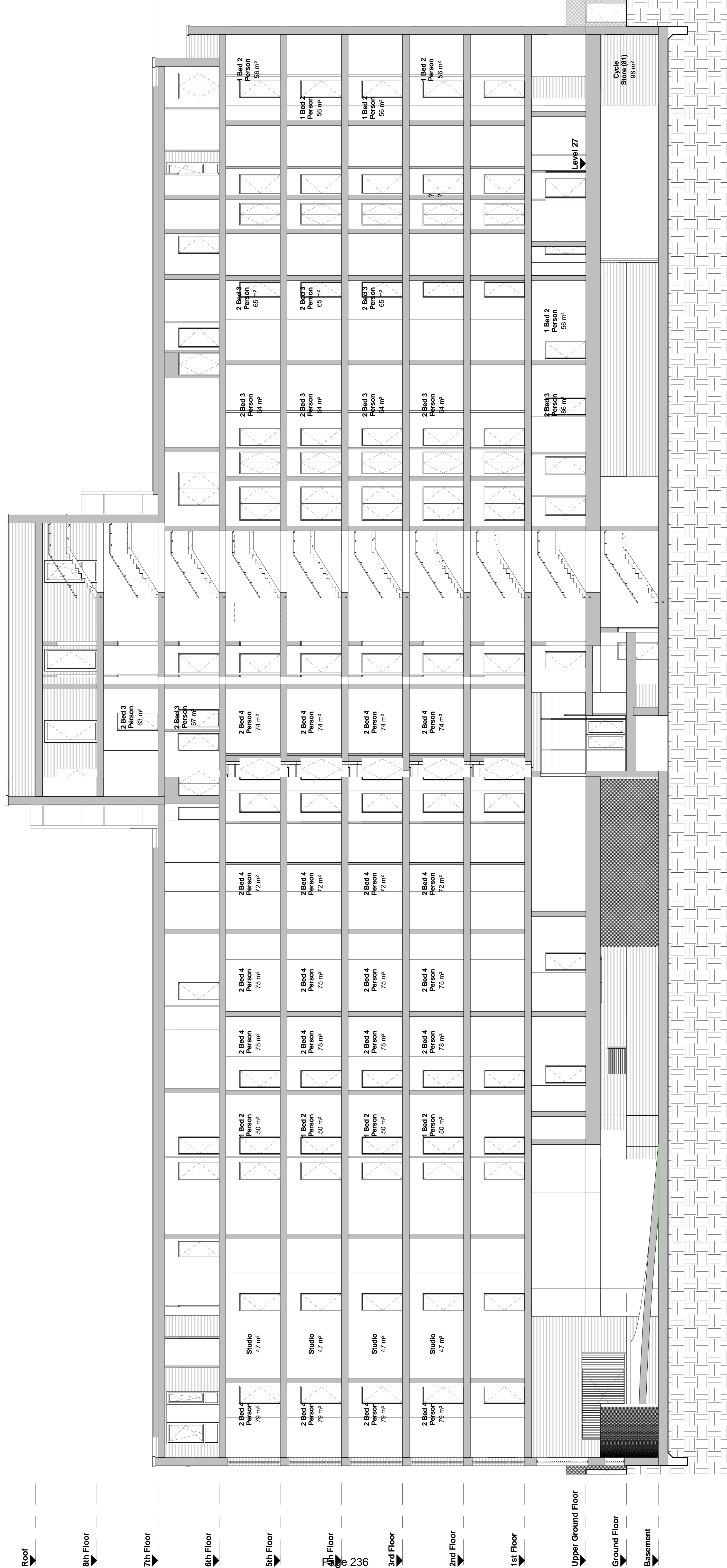
Ground Floor
FFL 0.000

Basement
FFL -1.250

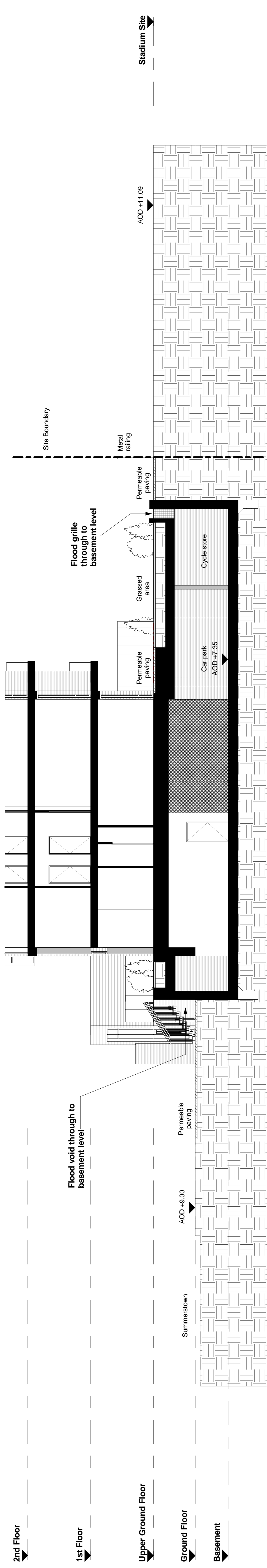


Section 3-3

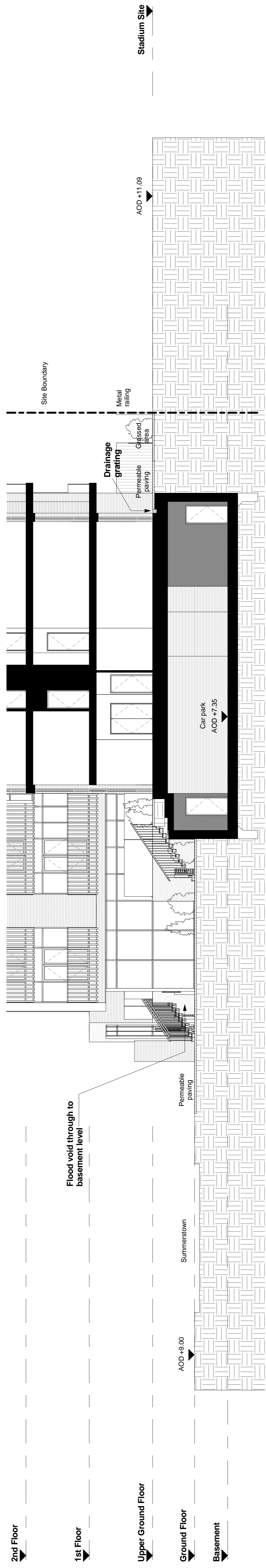




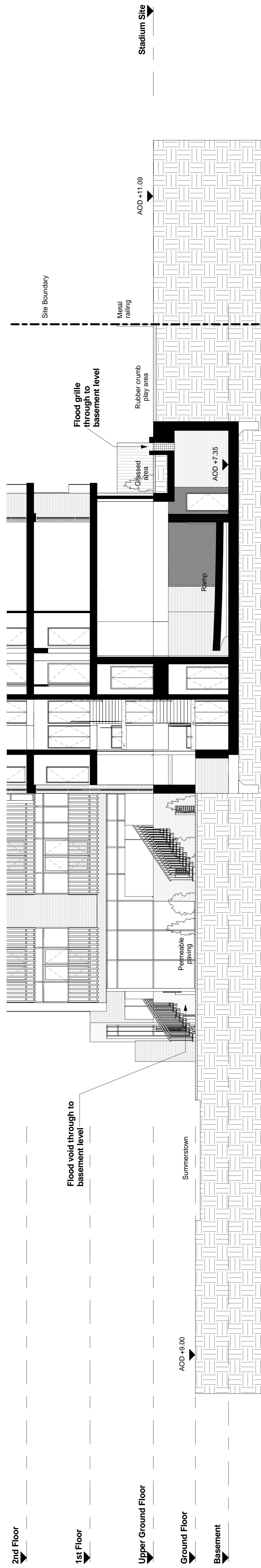
Section 1-1



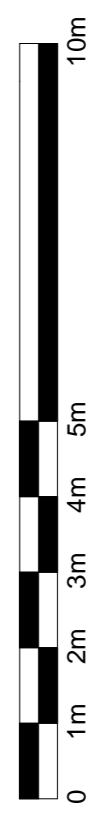
Section 6-6



Section 5-5



Section 4-4



2nd Floor

1st Floor

Upper Ground Floor

Ground Floor

Basement

2nd Floor

1st Floor

Upper Ground Floor

Ground Floor

Basement

2nd Floor

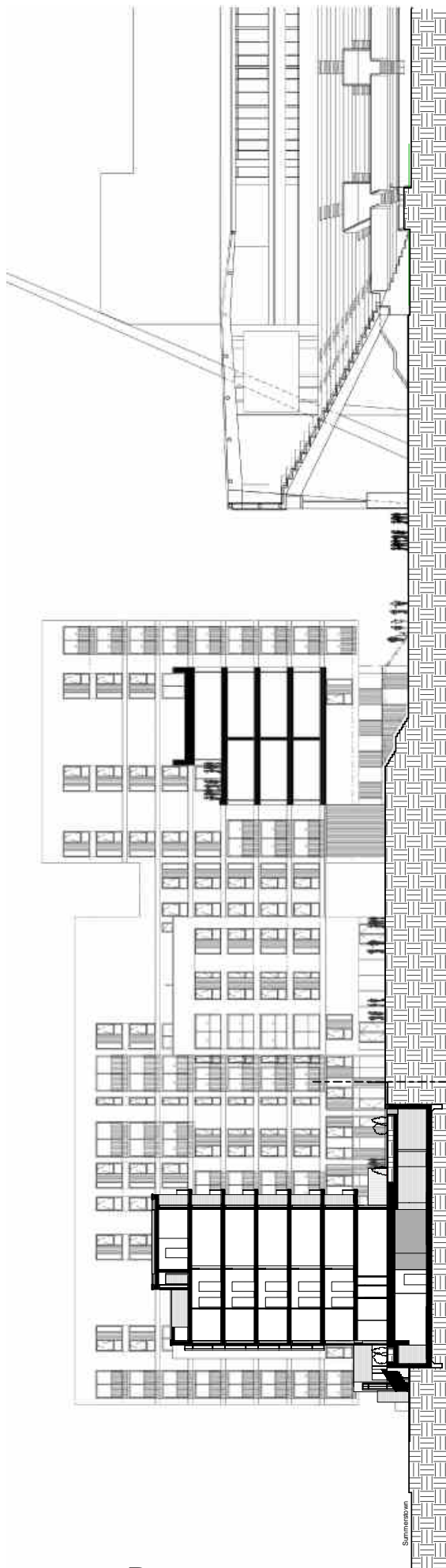
1st Floor

Upper Ground Floor

Ground Floor

Basement

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CZWG Architects LLP
 17 Bevington Court
 London SE18 6JH
 Tel: 020 7200 0200
 www.czwg.co.uk

Rev: D01 - Date: 05.05.16 - DW:SN - CRK:SR
 Rev: P02 - Date: 03.05.16 - DW:SN - CRK:SR
 Issued for planning

Note
 The Wembleton Stadium Development shown as context for
 this development is the design by Sheppard Robson for Galliard Homes.

Client:
Volanté Limited

Project:
46-76 Summerstown, SW17

Title:
Context Section A-A

Drawing status:
Planning

CZWG

Scale @ A1
1: 200
 Drawing No:
2110-00-DR-0420

Rev:
P02

Do not use off this drawing
 without the written consent of the Architect
 For further information contact the Architect

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Committee: Planning Applications

Date: 23rd May 2016

:

Wards: All

Subject: Planning Appeal Decisions

Lead officer: Head of Sustainable Communities

Lead member: Chair, Planning Applications Committee

Contact officer: Stuart Humphryes

Recommendation:

That Members note the contents of the report.

1. PURPOSE OF REPORT AND EXECUTIVE SUMMARY

- 1.1 For Members' information recent decisions made by Inspectors appointed by the Secretary of State for Communities and Local Government in respect of recent Town Planning Appeals are set out below.
- 1.2 The relevant Inspectors decision letters are not attached to this report, but can be seen on the Council web-site with the other agenda papers for this meeting at the following link:

http://www.merton.gov.uk/council/committee.htm?view=committee&com_id=165

DETAILS

Application Numbers: **15/P1449**
Site: 60 Pitcairn Road, Mitcham CR4 3LL
Development: Demolition of existing building and erection of a part 3 storey building comprising 7 x flats
Recommendation: Refuse Permission (Committee Decision)
Appeal Decision: **DISMISSED**
Date of Appeal Decision: 20th April 2016

Link to Appeal Decision

http://planning.merton.gov.uk/MVM.DMS/Planning%20Application/100088000/100088719/15P1449_Appeal%20Decision%20Notice.pdf

Application Number: 15/P2035
Site: Belvedere Grove, Wimbledon Village SW19 7RL
Development: Variation of condition to allow continued use of site for storage & distribution (use class B8)
Recommendation: Non-Determination
Appeal Decision: **DISMISSED**
Date of Appeal Decision: 14th April 2016

Link to Appeal Decision

http://planning.merton.gov.uk/MVM.DMS/Planning%20Application/1000089000/1000089282/15P2035_Appeal%20Decision%20Notice.pdf

Alternative options

- 3.1 The appeal decision is final unless it is successfully challenged in the Courts. If a challenge is successful, the appeal decision will be quashed and the case returned to the Secretary of State for re-determination. It does not follow necessarily that the original appeal decision will be reversed when it is re-determined.
- 3.2 The Council may wish to consider taking legal advice before embarking on a challenge. The following applies: Under the provision of Section 288 of the Town & Country Planning Act 1990, or Section 63 of the Planning (Listed Buildings and Conservation Areas) Act 1990, a person or an establishment who is aggrieved by a decision may seek to have it quashed by making an application to the High Court on the following grounds: -
1. That the decision is not within the powers of the Act; or
 2. That any of the relevant requirements have not been complied with; (relevant requirements means any requirements of the 1990 Act or of the Tribunal's Land Enquiries Act 1992, or of any Order, Regulation or Rule made under those Acts).

1 CONSULTATION UNDERTAKEN OR PROPOSED

- 1.1. None required for the purposes of this report.

2 TIMETABLE

- 2.1. N/A

3 FINANCIAL, RESOURCE AND PROPERTY IMPLICATIONS

- 3.1. There are financial implications for the Council in respect of appeal decisions where costs are awarded against the Council.

4 LEGAL AND STATUTORY IMPLICATIONS

- 4.1. An Inspector's decision may be challenged in the High Court, within 6 weeks of the date of the decision letter (see above).

5 HUMAN RIGHTS, EQUALITIES AND COMMUNITY COHESION IMPLICATIONS

5.1. None for the purposes of this report.

6 CRIME AND DISORDER IMPLICATIONS

6.1. None for the purposes of this report.

7 RISK MANAGEMENT AND HEALTH AND SAFETY IMPLICATIONS

7.1. See 6.1 above.

8 BACKGROUND PAPERS

8.1. The papers used to compile this report are the Council's Development Control service's Town Planning files relating to the sites referred to above and the agendas and minutes of the Planning Applications Committee where relevant.

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Committee: Planning Applications Committee

Date: 23rd May 2016

Agenda item:

Wards: All

Subject: PLANNING ENFORCEMENT - SUMMARY OF CURRENT CASES

Lead officer: HEAD OF SUSTAINABLE COMMUNITIES

Lead member: COUNCILLOR LINDA KIRBY, CHAIR, PLANNING APPLICATIONS COMMITTEE

Contact Officer Sam Amoako-Adofo: 0208 545 3111
sam.amoako-adofo@merton.gov.uk

Recommendation:

That Members note the contents of the report.

1. Purpose of report and executive summary

This report details a summary of case work being dealt with by the Planning Enforcement Team and contains figures of the number of different types of cases being progressed, with brief summaries of all new enforcement notices and the progress of all enforcement appeals.

Current Enforcement Cases:	629 ¹ (655)	New Appeals:	3 (0)
New Complaints	36 (80)	Instructions to Legal	2
Cases Closed	62 (154)	Existing Appeals	3 (4)
No Breach:	36	<hr/>	
Breach Ceased:	26	TREE ISSUES	
NFA ² (see below):	-	Tree Applications Received	45 (69)
Total	62 (154)	% Determined within time limits:	90%
New Enforcement Notices Issued		High Hedges Complaint	0 (0)
Breach of Condition Notice:	0	New Tree Preservation Orders (TPO)	3 (3)
New Enforcement Notice issued	5	Tree Replacement Notice	0
S.215: ³	0	Tree/High Hedge Appeal	0
Others (PCN, TSN)	0		
Total	5 (2)		
Prosecutions: (instructed)	0 (0)		

Note (*figures are for the period (12th April – 9th May 2016)*). The figure for current enforcement cases was taken directly from M3 crystal report.

¹ Totals in brackets are previous month's figures

² confirmed breach but not expedient to take further action.

³ S215 Notice: Land Adversely Affecting Amenity of Neighbourhood.

2.00 New Enforcement Actions

- 2.01 32 Cedars Avenue, Mitcham CR4 1EA** The Council issued an enforcement notice on 25th April 2016 against the unauthorised erection of a front garden wall, pillars and gates. The notice would come in to effect on 31st May 2016 unless there is an appeal prior to that date and the requirement would be for the owner to demolish the structures and removal of the resulting debris within 3 months.
- 2.02 160 Bennetts Close Mitcham CR4 1NS.** An enforcement notice was issued on 20th April 2016 against the unauthorised erection of a fence exceeding 3 metres high. The notice comes into effect by 1/6/16 unless there is an appeal prior to that date and the requirement would be to demolish the fence and remove the resulting debris all within 3 months.
- 2.03 Date Valley School, Mitcham Court, Cricket Green, Mitcham.** The Council issued an enforcement notice on 15th April 2016 against the unauthorised erection of a shelter in the playground of the school site. The notice would come in to effect on 25th May 2016 unless there is an appeal prior to that date and the requirement would be the demolishing of the structure and removal of the resulting debris within 3 months.

- 2.04 31 Manship Road, Mitcham CR4 2AZ** On 15th April 2016, the council issued an enforcement notice against the unauthorised erection of three wooden garden sheds in the rear garden, The notice would come into effect by 25th May 2016 unless there is an appeal prior to that date and the requirement would be to cease the use of the sheds for residential purposes and demolish/remove them from the garden within 3 months.
- 2.05 39 Borough Road Mitcham CR4 3DX** The Council served an enforcement notice on 15th April 2016 against the erection of a boundary timber fence with a requirement to demolish the structure within three months of the effective date. The notice would come into effect on 25th May 2016 unless there is an appeal prior to that date.

Some Recent Enforcement Actions

- 2.06 117 Haydons Road South Wimbledon SW19.** The Council served a replacement notice on 9th February 2016 against the unauthorised conversion of the former public house into eight self-contained flats. The notice came into effect on 18th March 2016 as there was no appeal prior to that date and the requirement would be to cease using the building as eight self-contained flats within 6 months.
- 2.07 Burn Bullock, 315 London Road, Mitcham CR4.** A Listed Buildings Repair Notice (LBRN) was issued on 27th August 2014 to require a schedule of works to be carried out for the preservation of the Building which is listed.

Listed Building Consent was granted on 3rd March 2015 to cover the required works which include the roof and rainwater goods, masonry, chimney and render repairs and woodwork, and glazing.

On 6/11/15 an extension (ref 15/P2924) was granted to allow the required works to be completed. Works are still on-going and should be completed by end of March 2016.

An inspection of the building and the works were carried out on Friday 29th April 2016. The required works have mostly been carried out to an acceptable standard. There are a couple of minor issues that are still being pursued but these can be resolved without the need for further enforcement.

The archaeological survey has not been carried out. To address this issue, officers have provided information on two companies currently carrying out similar surveys in the borough, to the owner to the These are the company working on the nearby Canons House - Simpson & Brown, and MOLA (Museum of London Archaeology).

3.0 New Enforcement Appeals

Swinburn Court, 32 The Downs SW19 The Council served an enforcement notice on 15th March 2016 against the erection of a single storey outbuilding (garden shed) in the front/side garden of the block of flats. The requirement is to

demolish the structure within three months of the effective date of 30/4/16 but for the appeal. The council is still waiting for a start date letter.

39 Borough Road Mitcham CR4 3DX The Council served an enforcement notice on 15th April 2016 against the erection of a boundary timber fence with a requirement to demolish the structure within three months of the effective date. The appeal is by written representation and is proceeding on ground 'A' – that planning permission should be granted for the development.

32 Cedars Avenue, Mitcham CR4 1EA The Council issued an enforcement notice on 25th April 2016 against the unauthorised erection of a front garden wall, pillars and gates. The notice would come in to effect on 31st May 2016 unless there is an appeal prior to that date and the requirement would be for the owner to demolish the structures and removal of the resulting debris within 3 months. The appeal is by written representation and is proceeding on ground 'A' – that planning permission should be granted for the development.

3.1 Existing enforcement appeals

- **3 Aberconway Road Morden SM4** - The Council served an enforcement notice on 4th February 2016 against the erection of a single storey side extension to the property following a refusal of retrospective planning permission to retain the structure. The owner is required to remove the extension and associated debris within one month of the effective date. An appeal has been registered to proceed under ground 'A' only – that planning permission should be granted for the development. **The Council's statement is due on 20/5/16**
- **4 Sunnymead Avenue Mitcham CR4-** The Council served an enforcement notice against a front roof alteration and rear dormer on 26/10/15. The notice would have come into effect on 5/12/15 but an appeal has been registered. The requirement is to demolish the unauthorised roof extension within one month. **The Council's final statement was sent in December 2015. The next stage is for the planning inspectorate to set a date for an inspector site visit.**
- **24 Greenwood Close SM4** An enforcement notice was issued on 20th July 2015 against the unauthorised erection of a detached bungalow. The notice would have come into effect on 25th August 2015 but an appeal has been registered.

The main requirement of the notice is for the unauthorised building to be demolished within three months.

The Council's statement was sent on 1/12/15. PINS have confirmed an extension to 5/1/16 at the request of the appellant as they want two other planning appeals for the same development to be co-joined and dealt with by one inspector. The next stage is for the planning inspectorate to set a date for an inspector site visit.

3.2 Appeals determined –

None

Prosecution case.

None

3.4 Requested update from PAC

4. Consultation undertaken or proposed

None required for the purposes of this report

5 Timetable

N/A

6. Financial, resource and property implications

N/A

7. Legal and statutory implications

N/A

8. Human rights, equalities and community cohesion implications

N/A

9. Crime and disorder implications

N/A

10. Risk Management and Health and Safety implications.

N/A

11. Appendices – the following documents are to be published with this report and form part of the report Background Papers

N/A

12. Background Papers

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